

Tax year 2023 BOR no. 0037 FILED ON  
 County Ashtabula Date received FEB 01 2024

DTE 1  
Rev. 12/22

### Complaint Against the Valuation of Real Property

Answer all questions and type or print all information. Read instructions on back before completing form.

Attach additional pages if necessary.

This form is for full market value complaints only. All other complaints should use DTE Form 2

Original complaint  Counter complaint  
 Notices will be sent only to those named below.

	Name	Street address, City, State, ZIP code
1. Owner of property	Denise Thomas Hagen	1170 Greenbriar DR Rock Creek, Ohio 44084
2. Complainant if not owner	N/A	
3. Complainant's agent	N/A	

4. Telephone number and email address of contact person  
440-364-0226 hagedn928@gmail.com

5. Complainant's relationship to property, if not owner owner

If more than one parcel is included, see "Multiple Parcels" instruction.

6. Parcel numbers from tax bill	Address of property
<u>07-021-10-009-21</u>	<u>1170 Greenbriar DR. Rock Creek, Ohio 44084 (Austinburg TWP)</u>

7. Principal use of property Home - main Residency - only Residency

8. The increase or decrease in market value sought. Counter-complaints supporting auditor's value may have -0- in Column C.

Parcel number	Column A Complainant's Opinion of Value (Full Market Value)	Column B Current Value (Full Market Value)	Column C Change in Value
<u>07-021-10-009-21</u>	<u>\$200,000.00 - \$275,000.00</u>	<u>356,600</u>	<u>81,600.00</u>

9. The requested change in value is justified for the following reasons:  
Took ownership on 8-1-23. Upon moving-in we discovered that the floors are falling-in within multiple rooms, the slab floor joists are rotted from previous flooding. picture enclosed. In addition, you have charged us for taxes when we didn't own the house.

10. Was property sold within the last three years?  Yes  No  Unknown If yes, show date of sale 8-1-2023  
 and sale price \$ 379,000.00 ; and attach information explained in "Instructions for Line 10" on back.

11. If property was not sold but was listed for sale in the last three years, attach a copy of listing agreement or other available evidence.

12. If any improvements were completed in the last three years, show date currently kitchen and total cost \$ 20,000.00

13. Do you intend to present the testimony or report of a professional appraiser?  Yes  No  Unknown

14. If you have filed a prior complaint on this parcel since the last reappraisal or update of property values in the county, the reason for the valuation change requested must be one of those below. Please check all that apply and explain on attached sheet. See R.C. section 5715.19(A)(2) for a complete explanation.

- The property was sold in an arm's length transaction.
- The property lost value due to a casualty.
- A substantial improvement was added to the property.
- Occupancy change of at least 15% had a substantial economic impact on my property.

*Letter + pictures we were unaware that the floors attached were rotted and falling in. Prior to moving in.*

15. If the complainant is a legislative authority and the complaint is an original complaint with respect to property not owned by the complainant, R.C. 5715.19(A)(8) requires this section to be completed.

- The complainant has complied with the requirements of R.C. section 5715.19(A)(6)(b) and (7) and provided notice prior to the adoption of the resolution required by division (A)(6)(b) of that section as required by division (A)(7) of that section.

I declare under penalties of perjury that this complaint (including any attachments) has been examined by me and to the best of my knowledge and belief is true, correct and complete.

Date 2/1/24 Complainant or agent (printed) \_\_\_\_\_ Title (if agent) \_\_\_\_\_

Complainant or agent (signature) *Cristina Hayes*

Sworn to and signed in my presence, this 2/1/24 (Date) day of Feb. (Month) 2024 (Year)

Notary \_\_\_\_\_

**Situs : 1170 GREENBRIER DR**

**Map ID: 07-021-10-009-21**

**LUC: 510**

**Card: 1 of 1**

**Tax Year: 2023**

**Printed: 02/01/24**

**CURRENT OWNER**  
DELAAT DENNIS P  
1170 GREENBRIAR DR  
ROCK CREEK OH 44084  
  
CAUV  
Field Review Flag:

**GENERAL INFORMATION**  
Routing No. 021-10 009-21  
Class Residential  
Living Units 1  
Neighborhood 50400  
District  
Zoning  
Alternate Id



**Legal Description**  
**Parcel Tieback:** Addl. Tieback: N  
**Legal Descriptions:**  
92

**Land Information**

Type	Cd	Rate	Size	Acres	Dpth	Inf Fac	Inf %	Value
A	S	15000	4.0100	58	0			45,350
A	H	15000	1.0000	100	0			19,500
								64,850

Total Acres: 5.01      Legal Acres: 5.01      NBHD Fact: 1.3000

**Assessment Information**

	Assessed	Appraised	Cost	Income	Market
<b>Land</b>	22,720	64,900	64,900	0	0
<b>Building</b>	102,100	291,700	291,700	0	0
<b>Total</b>	124,820	356,600	356,600	0	0

**Manual Override Reason**  
**Base Date of Value**  
**Effective Date of Value**  
**Value Flag** 1-COST APPROACH

**Current Value**

Year	Land	Building	Total Value
2020	49,900	216,000	265,900
2021	49,900	216,000	265,900
2022	49,900	216,000	265,900

**Permit Information**

Date Issued	Number	Price	Purpose	Note	Status

**Sales/Ownership History**

Transfer Date	Price	Type	Validity	Deed Reference	Deed Type	Grantor
08/04/23	379,900	2-Land And Building	0-Validated Sale		GW-General Warranty	DELAAT DENNIS P
07/26/21		2-Land And Building	E-Exempt Conveyance (Sale Price O		AF-Affidavit Of Survivorship	DELAAT DENNIS P
08/20/99	200,000	2-Land And Building	U-Not Validated	0101/1380	WD-Warranty Deed	MAHONEY JOYCE
02/12/98		1-Land Only	I-Error In Description	0058/5354	ET-Temp Exempt	MAHONEY EARL J

**Entrance Information**

Date	ID	Entry Code	Source
02/03/14	DWP	6-Occupant Not Home	3-Other

**Property Notes**  
Note Codes:

Situs : 1170 GREENBRIER DR

Parcel Id: 07-021-10-009-21

LUC: 510

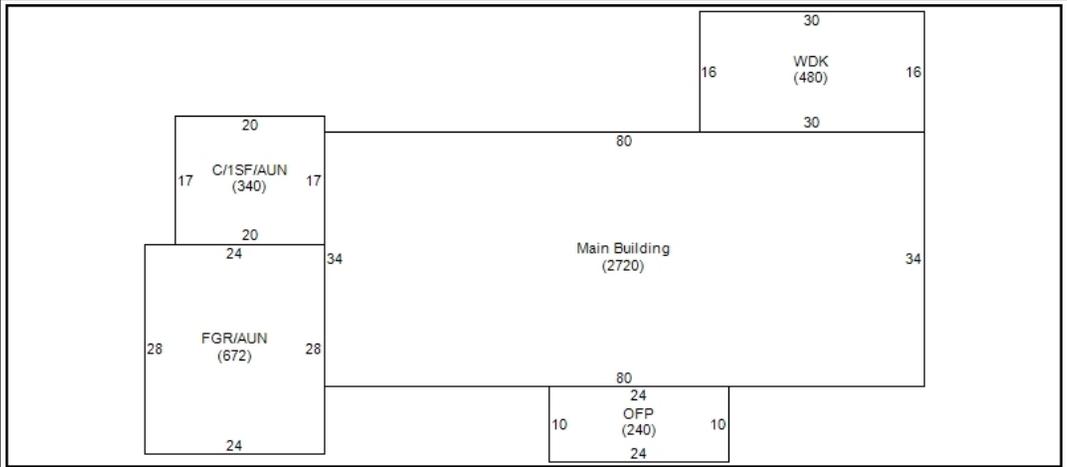
Card: 1 of 1

Tax Year: 2023

Printed: 02/01/24

**Dwelling Information**

<b>Valuation Method</b> D	<b>Total Rooms</b> 7
<b>Override Model</b>	<b>Dining Rooms</b> 1
<b>Story Height</b> 1	<b>Bedrooms</b> 3
<b>Construction</b> 1-Wood/Vinyl	<b>Family Rooms</b> 0
<b>Style</b> 03-Ranch	<b>Full Baths</b> 2
<b>Year Built</b> 1997	<b>Half Baths</b> 0
<b>Eff Year Built</b>	<b>Addl. Fixtures</b> 0
<b>Year Remodeled</b>	<b>Total Fixtures</b> 9
<b>Kitchen Remod</b>	<b>Unfinished Area</b> 0
<b>Bath Remod</b>	<b>T2 Rec Rm Area</b>
<b>Lower Level</b> D-Full Crawl	<b>T3 Rec Rm Area</b>
<b>Heating</b> 4-Heat Pump	<b>T4 Rec Rm Area</b>
<b>Heat Fuel Type</b>	<b>Fin Bsmt Liv Area</b> 0
<b>System</b>	<b>WBFP Stacks</b> 0
<b>Attic</b> 1-Unfin	<b>WBFP Openings</b> 0
<b>Phy. Condition</b> A-Average Condition	<b>WBFP Add'l Stry</b>
<b>Int vs Ext Cond</b>	<b>Prefab Fireplace</b>
<b>Well / Septic</b> 3	<b>Prefab Add'l Stry</b>
<b>Bsmt Gar # Cars</b>	
<b>Misc 1 Desc</b>	<b>Misc 1 Qty</b>
<b>Misc 2 Desc</b>	<b>Misc 2 Qty</b>
<b>Grade</b> C+1	<b>Cost &amp; Design</b> 0
<b>CDU</b> AV-AVERAGE	<b>Functional</b>
<b>% Good Ovr</b>	<b>Economic</b> 100
<b>% Complete</b> 100	<b>NBHD Fact</b> 1.35
<b>GRM Econ Rents</b>	<b>GRM Factor</b> 1
<b>GRM Units</b>	<b>GRM Value</b> 0



**Additions**

Line	Low	1st	2nd	3rd	Area	Yr Blt	Eff Yr	Grade	%Comp	CDU	Value
0					2,720						
1		FGR	AUN		672						18,300
2			OFP		240						5,300
3			WDK		480						5,700
4	CSP	1SF	AUN		340						20,600

**Dwelling Computations**

<b>Base Price</b> 153,980	<b>% Good</b> 80
<b>Plumbing</b> 5,900	<b>Market Adj</b>
<b>Basement</b> 14,600	<b>Functional</b>
<b>Heating</b> 7,010	<b>Economic</b> 100
<b>Attic</b> 12,830	<b>% Complete</b> 100
<b>Other Features</b> 0	<b>C&amp;D Factor</b>
	<b>Adj Factor</b> 1.35
<b>Subtotal</b> 194,320	<b>Additions</b> 39,900
<b>Ground Floor Area</b> 2,720	
<b>Total Living Area</b> 3,060	<b>Dwelling Value</b> 275,590

Dwelling Notes

**Outbuilding Data**

Ln	Code/Desc	Yr Blt	Eff Yr	Size	Area	Gr	Qty	ModCd	PC	FN	MA	%Comp	Value
1	RS1-Frame Sh	1111		0x0	1	C	1		S				
2	RG1-Det Garag	2005		24x32	768	C	1		A				16,100

**Condominium / Mobile Home Information**

<b>Complex #</b>	<b>Level</b>	<b>MH Make</b>
<b>Type</b>	<b>Elevator</b>	<b>MH Model</b>
<b>Unit No</b>	<b>Location</b>	<b>Serial#</b>
<b>Condo Style</b>	<b>View</b>	<b>MH Title#</b>
<b>Cmplx Name</b>		<b>Park Code</b>

**Misc & Gross Bulding Values**

<b>Misc Building No</b>	<b>Misc Adjusted Value</b>
<b>Gross Building:</b>	

Situs : 1170 GREENBRIER DR

Parcel Id: 07-021-10-009-21

LUC: 510

Card: 1 of 1

Tax Year: 2023

Printed: 02/01/24

**Comments**

Number	Code	Status	Comment
1	FLD	DC	19960523 C#01 - DWG FNDTN (CRWLSPACE) ONLY - CK ON REVIEW.
2	FLD	RV	19960719 C#01 - REV 97 FOR DWLG.
3	FLD	RV	19980505 JP C#01 - 4/1/98-PICKED UP DWG-100% 1/1/98.
4	FLD	DC	20020219 JV C#01 - 5/30/01 MRS-ADD FULL CRAWL,DINING RM AND WDDK
5	FLD	RV	20080428 DC C#01 - 4/16/08 OWN PICKED UP GAR AND OFP FOR REVAL

**Situs : 1170 GREENBRIER DR**

**Parcel Id: 07-021-10-009-21**

**LUC: 510**

**Card: 1 of 1**

**Tax Year: 2023**

**Printed: 02/01/24**

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January 29, 2024

**Dear Ashtabula county auditor,**

RE: parcel ID 07-021-10-009-21,

1170 Greenbrier Dr., Rock Creek, OH 44084, 440-364-0226

Requesting an audit regarding amount due in taxes...

We are writing regarding our property tax bill that states they are for the "first half of 2023". We did not take possession of this home until late July 2023. Therefore, we did not live in this house nor did we own it during the time you are stating we owe property taxes for the first half of 2023.

Although we did pay your entire bill in full today for \$5589.76, (check enclosed), we are very confused as to how we owe money for the first half of 2023. How can this be?

Also, we are confused as to how the taxes went up almost \$1000 a year from the previous owner to us. Although we paid \$379,000 for the house (but had appraised for \$370,000), after moving in, we discovered the floors are falling in. Also, we discovered multiple problems regarding the septic system, and the well, etc. Our multiple inspections on this home prior to moving in, did not catch the fact regarding the floors or any of the other issues. Unknown to us, we bought a fixer-upper. And to add salt to our wound, We are astonished to find out that we are being charged close to \$6000 a year for a house that we feel is not even worth \$200,000. - \$275,000.00.

We needed to come out of retirement just to try to start to pay for all of these needed repairs on this house. We were foolish in trusting the previous owner. And now this.

Again, we have enclosed payment for one full year, due to fear of not being paid up on our property taxes. However, please take a look as to what we're being charged. If you would like to send someone out to our home, we will be happy to show you all of the rotted floor joists. In addition, the house next-door to us is a dump as they are hoarders both inside and out. Therefore this area is certainly not worth close to \$6000 dollars in property tax. We would greatly appreciate it to have this reevaluated.

Thank you for your time and trouble.

Sincerely,

Thomas F Hagen and Denise K Hagen



**ANGIE MAKI-CLIFF**  
**ASHTABULA COUNTY TREASURER**  
**25 WEST JEFFERSON ST**  
**JEFFERSON, OH 44047**

FORWARDING SERVICE REQUESTED

**REAL PROPERTY 1ST HALF 2023**

**DUE 02/21/2024**

<b>PARCEL ID:</b>	07-021-10-009-21
<b>PARCEL LOCATION:</b>	1170 GREENBRIER DR
<b>TAX DISTRICT:</b>	AUSTINBURG TWP-GENEVA CSD
<b>OWNER NAME:</b>	HAGEN DENISE
<b>LEGAL INFORMATION:</b>	92

\*\*\*\*\*AUTO\*\*5-DIGIT 44003 12 111 3774 1AV 0.498

HAGEN DENISE  
HAGEN THOMAS JR  
1170 GREENBRIAR DR  
ROCK CREEK OH 44084-9500



**OPT IN TO  
ESTATEMENTS  
SCAN THE QR CODE**

Gross Tax Rate 85.600000	Non-Business Credit Factor 0.080044	Acres 5.0100
Reduction Factor 0.432287	Owner Occupancy Credit Factor 0.020011	Class R
Effective Tax Rate 48.596271		LUC 510

TAX VALUES		CURRENT TAX DISTRIBUTION	
REAL ESTATE TAXES	10,684.64	ASHTABULA COUNTY	834.26
REDUCTION FACTOR	-4,618.84	GENEVA AREA CSD	2,721.29
SUBTOTAL	6,065.80	ASHTABULA CO SCH FINANCING DISTRICT	156.12
NON BUSINESS CREDIT	-485.54	A-TECH	252.96
OWNER OCCUPANCY CREDIT	0.00	AUSTINBURG TWP	966.44
HOMESTEAD REDUCTION	0.00	NORTHWEST AMBULANCE DISTRICT	449.44
CAUV RECOUPMENT	0.00	ASHTABULA COUNTY DISTRICT LIBRARY	149.16
		ASHTABULA CO METRO PARKS	50.59
CURRENT NET TAXES	5,580.26		
CURRENT ASSESSMENTS	9.50		
FULL YEAR TAXES & ASMTS	5,589.76	SPECIAL ASSESSMENT	9.50
HALF YEAR TAXES & ASMTS	2,794.88	TOTAL	5,589.76
PENALTIES	0.00		
INTEREST	0.00		
ADJUSTMENTS	0.00		
DELINQUENT GENERAL TAXES	0.00		
DELINQUENT ASSESSMENTS	0.00		
<b>FULL YEAR TOTAL</b>	<b>5,589.76</b>	<b>AVOID LATE FEES</b>	
PAYMENTS		PAY ELECTRONICALLY BY AUTO WITHDRAW. A MONTHLY ESCROW PLAN TO PREPAY TAXES IS ALSO AVAILABLE. INFORMATION CAN BE FOUND ON WEBSITE. WWW.ASHTABULACOUNTY.US/TREASURER	
OTHER CREDITS	0.00		
HALF YEAR DUE	2,794.88		
TaxBill Prepared on 01/09/24			

100% APPRAISED VALUE		
Land	Building	Total
64,900	291,700	356,600
TAXABLE VALUE		
Land	Building	Total
22,720	102,100	124,820
Homestead	CAUV	TIF Value
	0	0
SPECIAL ASSESSMENT		
PRO.# AND DESCRIPTION	DELINQUENT	CURRENT
19005-9-1-1 EMERGENCY	0.00	4.50
19006-COUNTYWIDE RECY	0.00	5.00
<b>TOTAL</b>	<b>0.00</b>	<b>9.50</b>

**TO AVOID 10% PENALTY PAY ON OR BEFORE 02/21/2024**  
U.S. Postmarks are acceptable for timely payment  
Cash, Checks, Money Orders & Credit Card Payments accepted.  
Please see office phone directories on back of bill.

File No./Escrow No.: FS230692387  
 Officer/Escrow Officer:

**First Source Title Agency, Inc.**  
 7717 Victory Lane  
 Suite B  
 North Ridgeville, OH 44039  
 (855) 716-9000

Property Address: 1170 GREENBRIAR DRIVE  
 ROCK CREEK, OH 44084 (ASHTABULA)  
 (070211000921)

Buyer: DENISE HAGEN  
 30073 Ridge Road  
 Wickliffe, OH 44092

THOMAS HAGEN, JR.  
 30073 Ridge Road  
 Wickliffe, OH 44092

Settlement Date: 8/1/2023

Description	Buyer	
	Debit	Credit
<b>Deposits, Credits, Debits</b>		
Sale Price of Property	\$379,900.00	
Deposit		\$10,000.00
Seller Paid Owner Policy		\$884.00
Lender Credit from CrossCountry Mortgage, LLC ISAOA/ATIMA		\$100.00
<b>Prorations</b>		
County Taxes 1/1/2023 to 8/1/2023 @ \$4,411.40/Year		\$2,562.24
<b>Commissions</b>		
Real Estate Commission to McDowell Fawcett / Genter Team	\$399.00	
<b>New Loans</b>		
Loan Amount		\$100,000.00
of Loan Amount (Points)	\$473.00	
Appraisal Fee to CrossCountry Mortgage, LLC ISAOA/ATIMA		
Credit Report to CrossCountry Mortgage, LLC ISAOA/ATIMA	\$120.00	
Processing Fee to CrossCountry Mortgage, LLC ISAOA/ATIMA	\$995.00	
Underwriting Fee to CrossCountry Mortgage, LLC ISAOA/ATIMA	\$895.00	
Flood certification to CrossCountry Mortgage, LLC ISAOA/ATIMA	\$8.00	
Prepaid Interest ( 17.8100 per day from 8/1/2023 to 9/1/2023 )	\$552.11	
<b>Title Charges</b>		
Title - Lender's Title Insurance to Premier Team Title LLC.	\$100.00	
Title - Owner's Title Insurance to Premier Team Title LLC.	\$1,768.00	
Title - Alta 8.1 Environmental Protection Lien Endorsement(s) to Premier Team Title LLC.	\$50.00	
Title - Alta 9 Restrictions, Encroachments, Minerals Endorsement(s) to Premier Team Title LLC.	\$150.00	
Title - Alta 22 Location (Lenders) Endorsement(s) to Premier Team Title LLC.	\$50.00	
Title - OH-101 Survey Coverage - Loan Policy Endorsement(s) to Premier Team Title LLC.	\$25.00	
Title - Notary fees to All American Title Agency, Inc.	\$125.00	
Title - Settlement or closing fee to First Source Title Agency, Inc.	\$375.00	
Title - Lender Title Insurance Binder to Premier Team Title LLC.	\$50.00	
Title - Closing Protection Letter to Premier Team Title LLC	\$40.00	
Title - Special Tax Search to First Source Title Agency, Inc.	\$50.00	
<b>Government Recording and Transfer Charges</b>		
Recording fees: Deed \$34.00	\$34.00	
Mortgage \$146.00	\$146.00	
<b>Additional Settlement Charges</b>		
Survey to Exacta Land Surveying	\$320.00	
	<b>Debit</b>	<b>Credit</b>
<b>Subtotals</b>	\$386,625.11	\$113,546.24
Due From Buyer		\$273,078.87
<b>Totals</b>	\$386,625.11	\$386,625.11

**Acknowledgement**

We/I have carefully reviewed the ALTA Settlement Statement and find it to be a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction and further certify that I have received a copy of the ALTA Settlement Statement. We/I authorize First Source Title Agency, Inc. to cause the funds to be disbursed in accordance with this statement.

BUYER(S)

\_\_\_\_\_  
DENISE HAGEN

\_\_\_\_\_  
THOMAS HAGEN, JR.

# Closing Disclosure

This form is a statement of final loan terms and closing costs. Compare this document with your Loan Estimate.

## Closing Information

**Date Issued** 7/31/2023  
**Closing Date** 8/1/2023  
**Disbursement Date** 8/1/2023  
**Settlement Agent** First Source Title Agency  
**File #** FS230692387  
**Property** 1170 Greenbriar Dr  
 Rock Creek, OH 44084  
**Sale Price** \$379,900

## Transaction Information

**Borrower** Thomas Hagen and Denise Hagen  
 30073 Ridge Rd  
 Wickliffe, OH 44092  
**Seller** Dennis DeLaat  
 1170 GREENBRIAR DR  
 Rock Creek, OH 44084  
**Lender** CrossCountry Mortgage, LLC

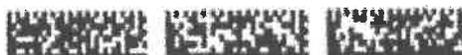
## Loan Information

**Loan Term** 30 years  
**Purpose** Purchase  
**Product** Fixed Rate  
**Loan Type**  Conventional  FHA  
 VA   
**Loan ID #** 20792305604509  
**MIC #**

Loan Terms	Can this amount increase after closing?	
<b>Loan Amount</b>	\$ 100,000	NO
<b>Interest Rate</b>	6.499 %	NO
<b>Monthly Principal &amp; Interest</b> <i>See Projected Payments below for your Estimated Total Monthly Payment</i>	\$ 632.00	NO
<b>Does the loan have these features?</b>		
<b>Prepayment Penalty</b>	NO	
<b>Balloon Payment</b>	NO	

Projected Payments		
Payment Calculation	Years 1-30	
Principal & Interest	\$ 632.00	
Mortgage Insurance	+	0
Estimated Escrow <i>Amount can increase over time</i>	+	0
<b>Estimated Total Monthly Payment</b>	<b>\$ 632.00</b>	
<b>Estimated Taxes, Insurance &amp; Assessments</b> <i>Amount can increase over time See page 4 for details</i>	<b>\$ 509.29</b> Monthly	This estimate includes <input checked="" type="checkbox"/> Property Taxes <input checked="" type="checkbox"/> Homeowner's insurance <input type="checkbox"/> Other: <i>See Escrow Account on page 4 for details. You must pay for other property costs separately.</i>
		<b>In escrow?</b> NO NO

Costs at Closing		
<b>Closing Costs</b>	<b>\$8,875.11</b>	Includes \$4,676.00 in Loan Costs + \$4,299.11 in Other Costs - \$100.00 in Lender Credits. <i>See page 2 for details.</i>
<b>Cash to Close</b>	<b>\$273,078.87</b>	Includes Closing Costs. <i>See Calculating Cash to Close on page 3 for details.</i>



# Closing Cost Details

Loan Costs	Borrower-Paid		Seller-Paid		Paid by Others
	At Closing	Before Closing	At Closing	Before Closing	
<b>A. Origination Charges</b>		\$2,363.00			
01 0.473 % of Loan Amount (Points)	\$473.00				
02 Processing Fees	\$995.00				
03 Underwriting Fees	\$895.00				
04					
05					
06					
07					
08					
<b>B. Services Borrower Did Not Shop For</b>		\$998.00			
01 Appraisal Fee to Collateral Management dba BlueBird		\$550.00			(L) \$100.00
02 Credit Report to FACTUAL DATA	\$120.00				
03 Flood Certification to Allsource Holdings, LLC	\$8.00				
04 Survey Fee to EXACTA	\$320.00				
05					
<b>C. Services Borrower Did Shop For</b>		\$1,315.00			
01 Title - Closing Protection Letter to PREMIER TEAM TITLE, LLC	\$40.00				
02 Title - Lender's Title Insurance to PREMIER TEAM TITLE, LLC	\$400.00				
03 Title - Notary Fee to ALL AMERICAN TITLE AGENCY	\$125.00				
04 Title - Settlement Fee to FIRST SOURCE TITLE AGENCY	\$375.00				
05 Title - Special Tax Search to FIRST SOURCE TITLE AGENCY	\$50.00				
06 Title - Title Binder Fee to PREMIER TEAM TITLE, LLC	\$50.00				
07 Title - Title Endorsement Fee to PREMIER TEAM TITLE, LLC	\$275.00				
<b>D. TOTAL LOAN COSTS (Borrower-Paid)</b>		\$4,676.00			
<b>Loan Costs Subtotals (A + B + C)</b>	\$4,126.00	\$550.00			

## Other Costs

<b>E. Taxes and Other Government Fees</b>		\$180.00			
01 Recording Fees Deed: \$34.00 Mortgage: \$146.00	\$180.00				
02 City/County Tax/Stamps to ASHTABULA COUNTY			\$379.90		
03 Transfer Taxes to ASHTABULA COUNTY			\$1,140.60		
<b>F. Prepays</b>		\$2,252.11			
01 Homeowner's Insurance Premium (12 mo.) to State Farm Insurance		\$1,700.00			
02 Mortgage Insurance Premium ( mo.)					
03 Prepaid Interest (\$17.81 per day from 8/1/23 to 9/1/23)	\$552.11				
04 Property Taxes (6 mo.) to ASHTABULA COUNTY 2ND				\$2,205.72	
05					
<b>G. Initial Escrow Payment at Closing</b>					
01 Homeowner's Insurance per month for mo.					
02 Mortgage Insurance per month for mo.					
03 Property Taxes per month for mo.					
04					
05					
06					
07					
08 Aggregate Adjustment	\$0.00				
<b>H. Other</b>		\$1,857.00			
01 Broker Commission to MCDOWELL HOMES	\$399.00				
02 Courier Fee to FIRST SOURCE TITLE AGENCY			\$55.00		
03 Document Preparation Fee to PEARL LAW OFFICES			\$75.00		
04 Notary Fee to ALL AMERICAN TITLE			\$125.00		
05 Real Estate Commission to HOWARD HANNA			\$8,923.00		
06 Real Estate Commission to MCDOWELL HOMES			\$8,598.00		
07 Settlement Fee to FIRST SOURCE TITLE AGENCY			\$375.00		
08 Title - Owner's Title Insurance (optional) to PREMIER TEAM TITLE, LLC	\$1,468.00				
09 Title - Title Search to PREMIER TEAM TITLE, LLC			\$125.00		
10 Title - Wire to FIRST SOURCE TITLE AGENCY			\$25.00		
11 Title Binder Fee to PREMIER TEAM TITLE, LLC			\$50.00		
12 Title Exam to PREMIER TEAM TITLE, LLC			\$375.00		
13 Update Fee to PREMIER TEAM TITLE, LLC			\$50.00		
<b>I. TOTAL OTHER COSTS (Borrower-Paid)</b>		\$4,299.11			
<b>Other Costs Subtotals (E + F + G + H)</b>	\$2,599.11	\$1,700.00			

<b>J. TOTAL CLOSING COSTS (Borrower-Paid)</b>		\$8,875.11			
<b>Closing Costs Subtotals (D + I)</b>	\$6,725.11	\$2,250.00	\$20,296.50	\$2,205.72	\$100.00
<b>Lender Credits (includes \$100.00 credit for increase in Closing Costs above legal limit)</b>	-\$100.00				



### Calculating Cash to Close

Use this table to see what has changed from your Loan Estimate.

	Loan Estimate	Final	Did this change?
Total Closing Costs (J)	\$6,915.00	\$8,875.11	YES · See Total Loan Costs (D) and Total Other Costs (I). Increase exceeds legal limits by \$100.00. See Lender Credits on page 2 for credit of excess amount.
Closing Costs Paid Before Closing	\$0	-\$2,250.00	YES · You paid these Closing Costs before closing.
Closing Costs Financed (Paid from your Loan Amount)	\$0	\$0	NO
Down Payment/Funds from Borrower	\$279,900.00	\$279,900.00	NO
Deposit	\$0	-\$10,000.00	YES · You increased this payment. See Deposit in Section L.
Funds for Borrower	\$0	\$0	NO
Seller Credits	\$0	\$0	NO
Adjustments and Other Credits	\$0	-\$3,446.24	YES · See details in Section L.
<b>Cash to Close</b>	<b>\$286,815.00</b>	<b>\$273,078.87</b>	

### Summaries of Transactions

Use this table to see a summary of your transaction.

#### BORROWER'S TRANSACTION

<b>K. Due from Borrower at Closing</b>	<b>\$386,525.11</b>
01 Sale Price of Property	\$379,900.00
02 Sale Price of Any Personal Property Included in Sale	
03 Closing Costs Paid at Closing (J)	\$6,625.11
04	

#### Adjustments

05  
06  
07

#### Adjustments for Items Paid by Seller in Advance

08 City/Town Taxes	to	
09 County Taxes	to	
10 Assessments	to	
11		
12		
13		
14		
15		

#### L. Paid Already by or on Behalf of Borrower at Closing

<b>L. Paid Already by or on Behalf of Borrower at Closing</b>	<b>\$113,446.24</b>
01 Deposit	\$10,000.00
02 Loan Amount	\$100,000.00
03 Existing Loan(s) Assumed or Taken Subject to	
04	
05 Seller Credit	

#### Other Credits

06  
07

#### Adjustments

08 TITLE POLICY ADJUSTMENT	\$884.00
09	
10	
11	

#### Adjustments for Items Unpaid by Seller

12 City/Town Taxes	to	
13 County Taxes	01/01/23 to 08/01/23	\$2,562.24
14 Assessments	to	
15		
16		
17		

#### CALCULATION

Total Due from Borrower at Closing (K)	\$386,525.11
Total Paid Already by or on Behalf of Borrower at Closing (L)	-\$113,446.24
<b>Cash to Close</b> <input checked="" type="checkbox"/> From <input type="checkbox"/> To Borrower	<b>\$273,078.87</b>

#### SELLER'S TRANSACTION

#### M. Due to Seller at Closing

<b>M. Due to Seller at Closing</b>	<b>\$379,900.00</b>
01 Sale Price of Property	\$379,900.00
02 Sale Price of Any Personal Property Included in Sale	
03	
04	

05  
06  
07

08

#### Adjustments for Items Paid by Seller in Advance

09 City/Town Taxes	to	
10 County Taxes	to	
11 Assessments	to	
12		
13		
14		
15		
16		

#### N. Due from Seller at Closing

<b>N. Due from Seller at Closing</b>	<b>\$23,742.74</b>
01 Excess Deposit	
02 Closing Costs Paid at Closing (J)	\$20,296.50
03 Existing Loan(s) Assumed or Taken Subject to	
04 Payoff of First Mortgage Loan	
05 Payoff of Second Mortgage Loan	

06  
07

#### 08 Seller Credit

09	
10 TITLE POLICY ADJUSTMENT	\$884.00
11	
12	
13	

#### Adjustments for Items Unpaid by Seller

14 City/Town Taxes	to	
15 County Taxes	01/01/23 to 08/01/23	\$2,562.24
16 Assessments	to	
17		
18		
19		

#### CALCULATION

Total Due to Seller at Closing (M)	\$379,900.00
Total Due from Seller at Closing (N)	-\$23,742.74
<b>Cash</b> <input type="checkbox"/> From <input checked="" type="checkbox"/> To Seller	<b>\$356,157.26</b>

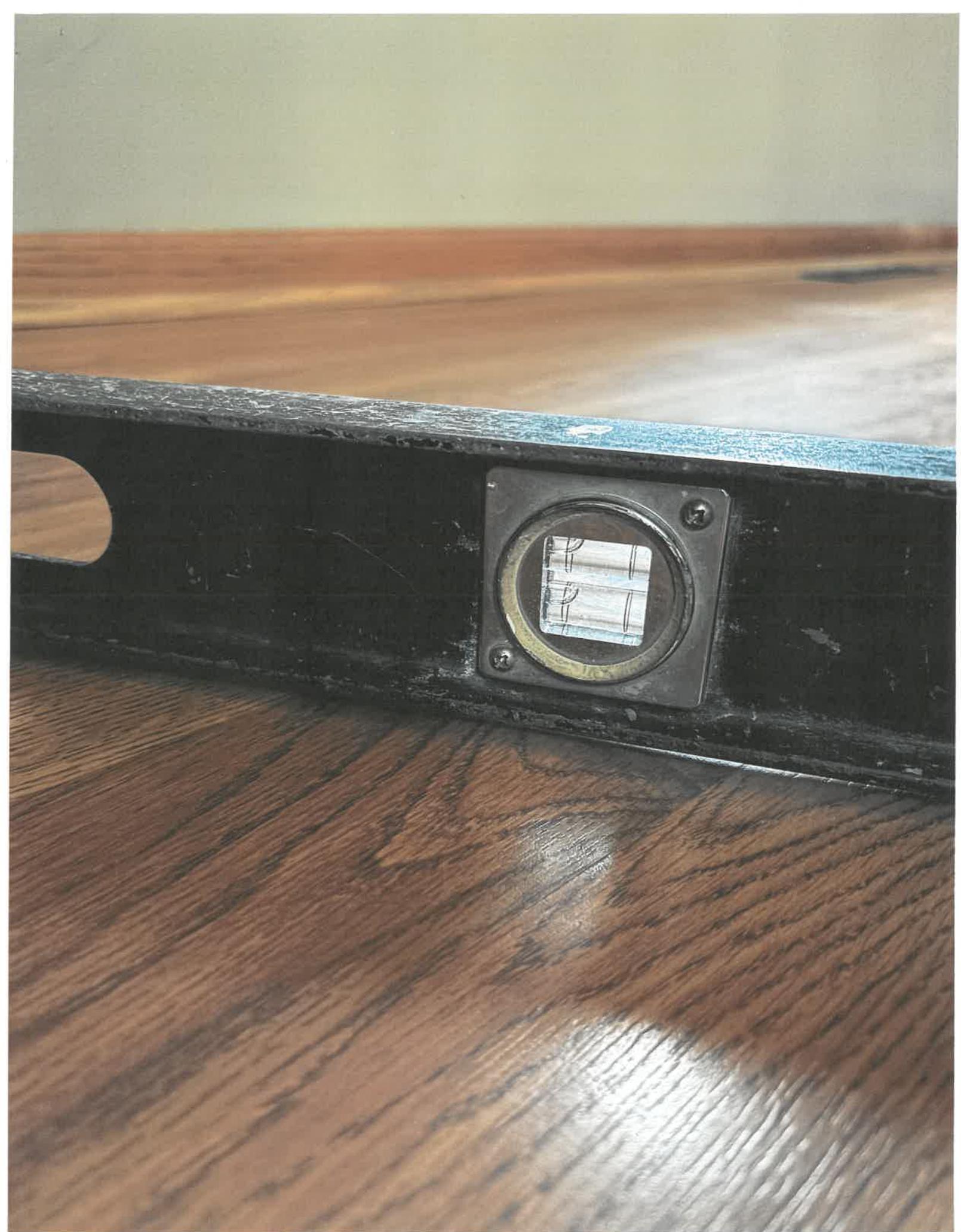












4/12/24

Additional  
information/witness  
for our "hearing" on  
5/1/24.

ASHTABULA COUNTY  
25 W Jefferson Street  
Jefferson OH 44047-1092  
(440) 576-1484 Fax: (440) 576-3446

BOARD OF REVISION HEARING NOTICE TO  
ASHTABULA COUNTY PROPERTY OWNER OR HIS/HER  
AGENT

April 4, 2024

B.O.R. CASE NUMBER: 2023-0037  
  
DENISE & THOMAS HAGEN  
1170 GREENBRIAR DR  
ROCK CREEK OH 44084

The Board, in accordance with Ohio Revised Code 5715.19, has scheduled a hearing on:

**May 1, 2024 at 11:30 AM**

at the Ashtabula County Courthouse, 2nd floor, Room 205, in connection with B.O.R. case number: 2023-0037 filed for tax year 2023 by DENISE & THOMAS HAGEN and described as follows:

Parcel ID(s):

- 1) 07-021-10-009-21 located at 1170 GREENBRIER DR, the market value is \$356,600. The market value sought is \$200,000.

You or a representative must appear at this hearing or the case will be dismissed.

If you have any questions, please call (440) 576-1484.

Ashtabula County Board of Revision



Rotted floor joists in  
Bedroom. floor falling in

\* Was hidden  
Same in Kitchen, living room,  
dining room, foyer, hallway  
bathroom, Bedrooms.



Another example of  
Rotted floor joists . 6

\*Was hidden  
Regarding  
falling in

Kitchen  
needed to be  
cutted  
floors falling  
in.

wet



floor example  
Hidden under Rugs  
Laundry Room  
Due to water damage  
previous pipes  
and hot water tank  
may have  
leaked



Deck to living Room

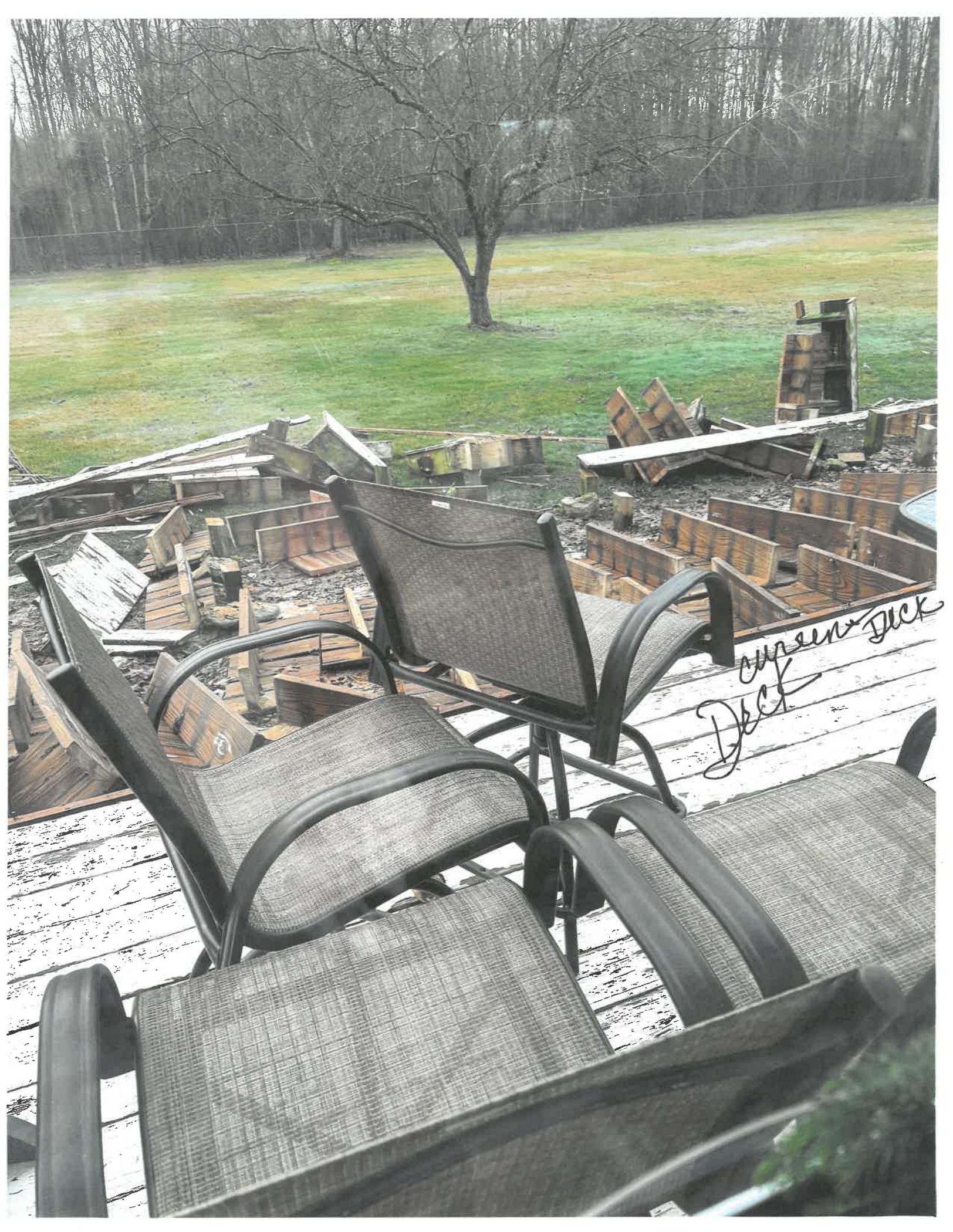
Hole where  
we had 4 skunks + 2 possum  
Living. Came in through hole under Deck.

Skunks + possum  
Living under our living room floor

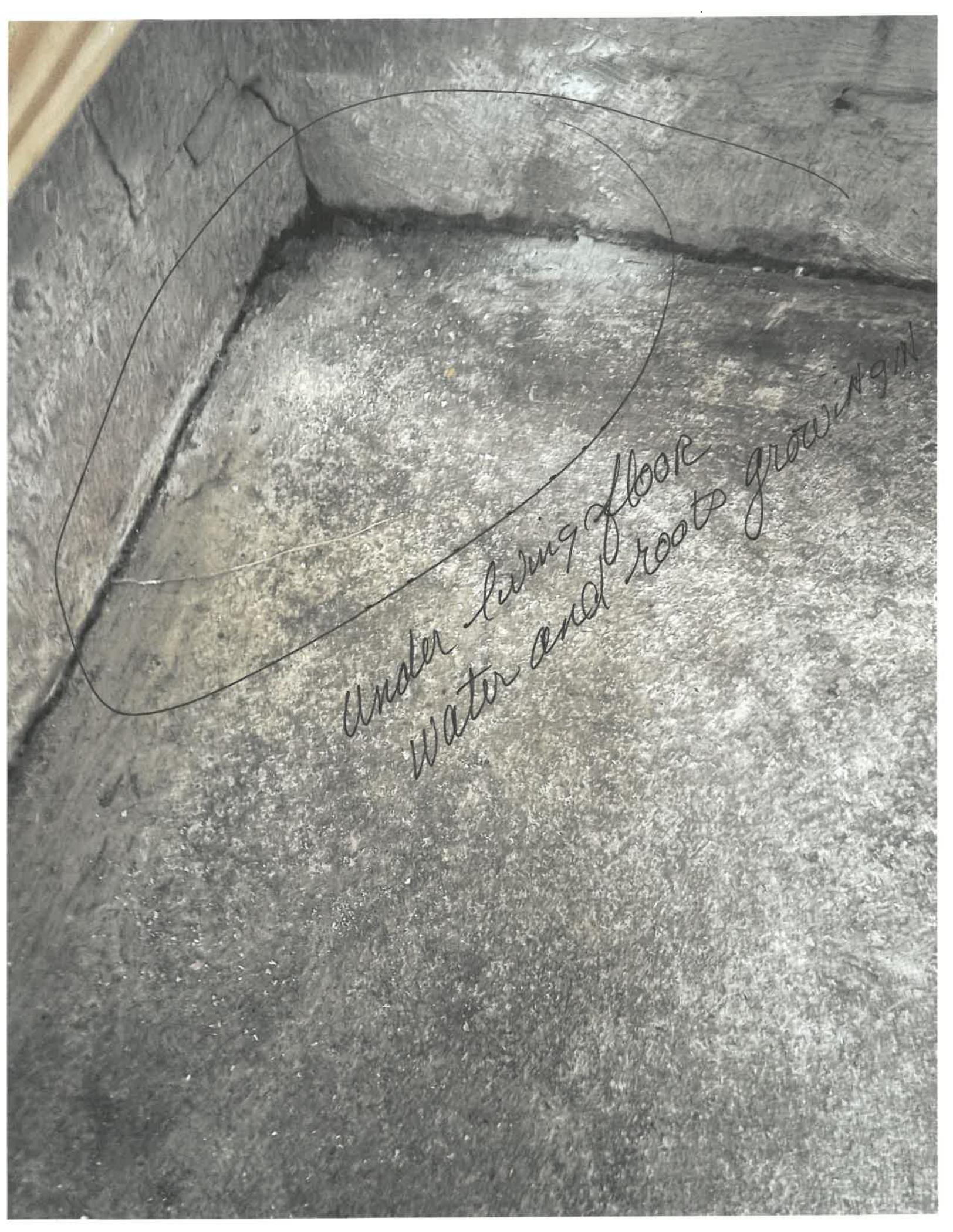
# Deck

Needed to remove  
Due to falling towards  
House

Plus need to  
Be able to remove  
Drip edge / passtime



Green Deck  
Deck



Under living floor  
water and roots growing

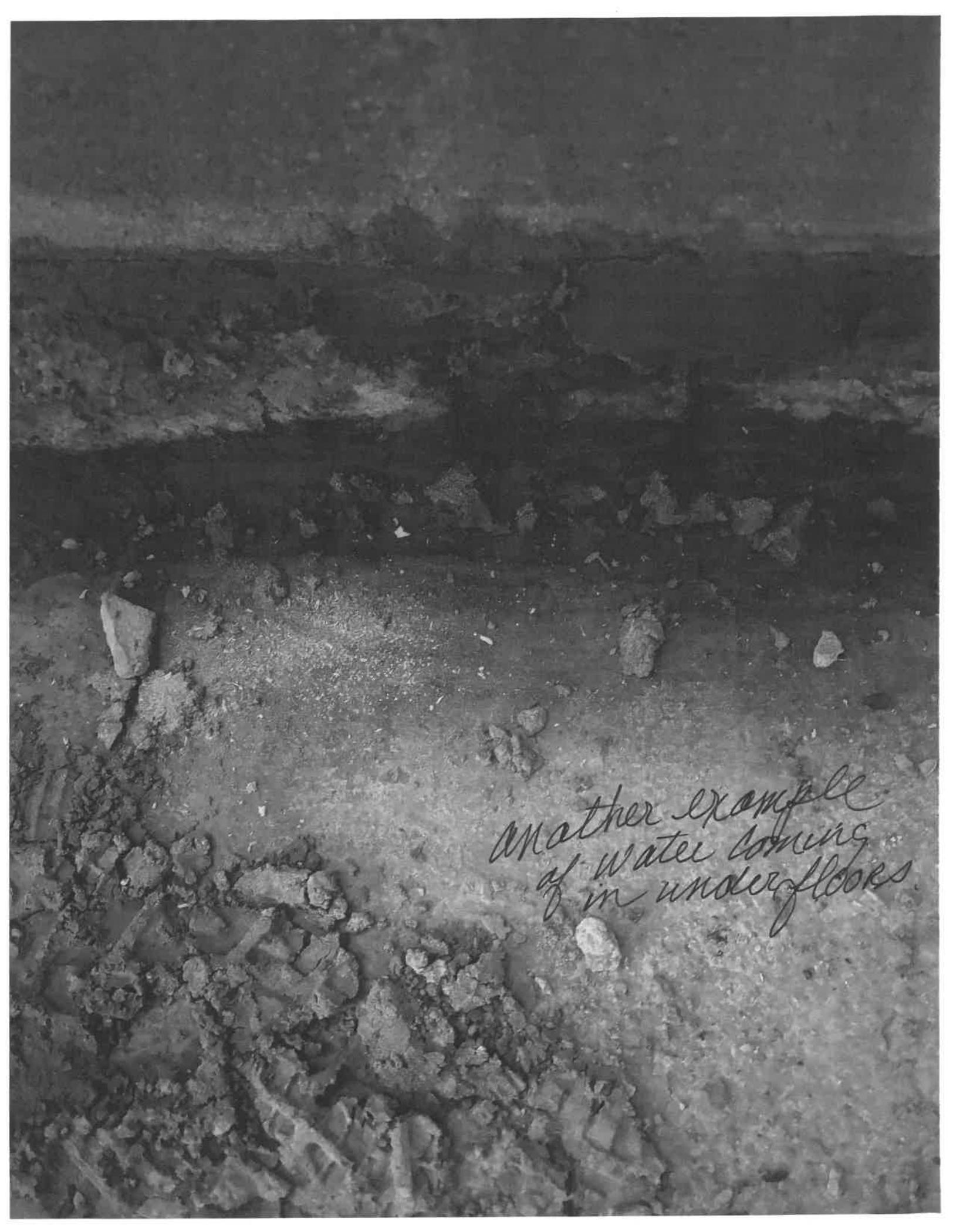


Water coming in under living room floor.

Needs water proofed

Living room floors falling in was hidden

we were total No water leaks



another example  
of water coming  
in under floors.



*Living room gutted floors*

example of  
current living ROOM  
floor

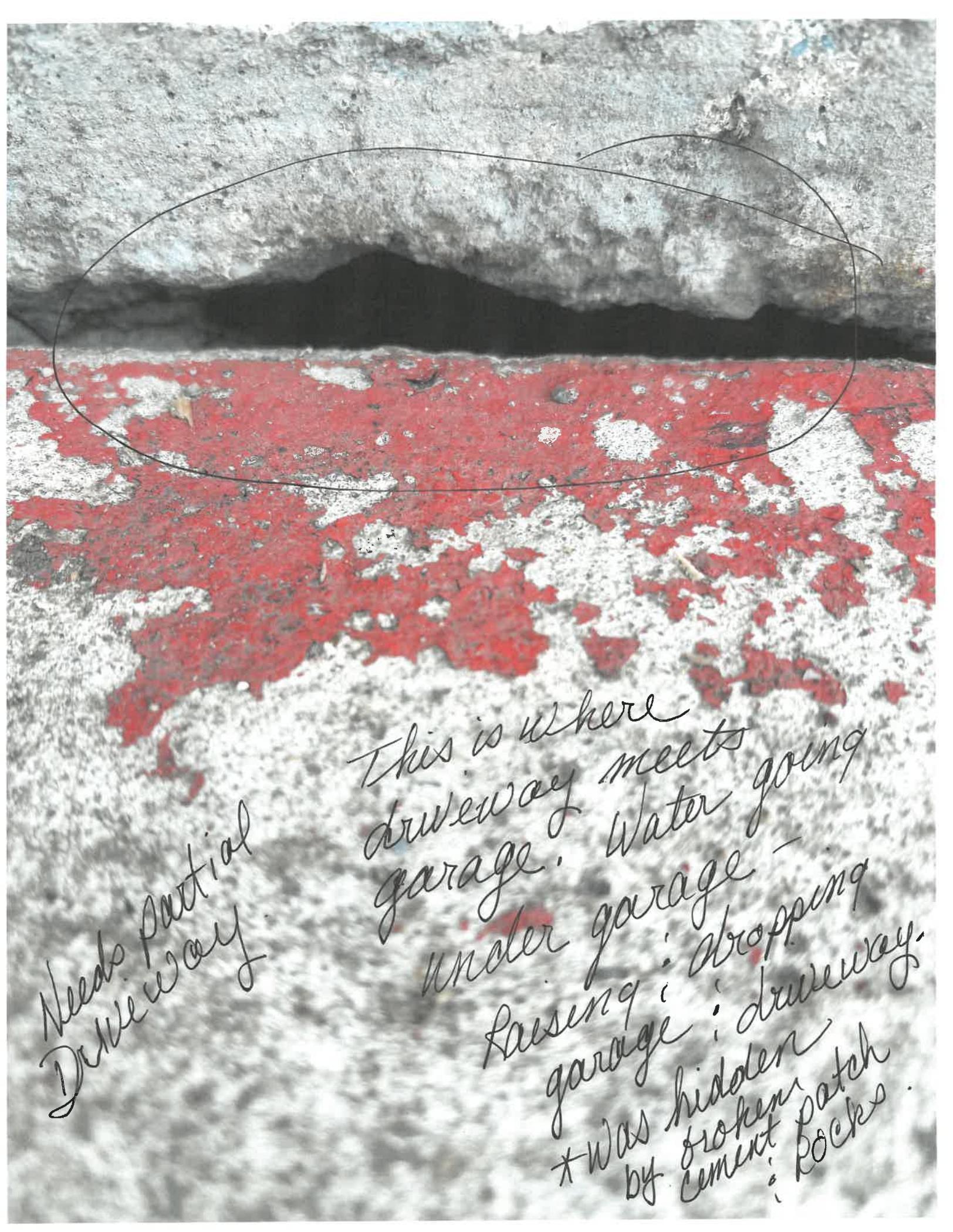




This is our  
current "New"  
plywood living floor (2017)  
- still working on  
living room floors

A photograph of a front yard with a yellow sign, a broken white pipe, and concrete blocks. The sign is handwritten and reads: "front yard - Where we needed to dig-up and fix Septic System." The yard is covered in mulch and rocks, with a concrete walkway and a broken white pipe visible. There are also some plants and a blue object in the background.

front yard -  
Where we  
needed to dig-up  
and fix Septic  
System.



Needs partial  
Driveway

This is where  
driveway meets  
garage. Water going  
under garage -  
Raising; dropping  
garage; driveway.  
\* was hidden  
by cement patch  
& rocks.

Man door  
on a car garage

Water going in  
garage. Door  
was falling

Needed cement pad

\* Now needs replaced  
with new partial  
driveway

A photograph of a concrete wall. A prominent vertical crack runs down the left side of the frame. The wall is painted with a red and black pattern, possibly a stylized letter 'R'. Handwritten graffiti in black ink is visible on the upper right portion of the wall. The text reads "another example of damage".

another example  
of damage



yard (side)  
example of  
standing water  
- whole yard  
is swampy.

We moved in Aug. 2023  
Didn't know



front yard  
manse

Example of just one repair cost

# Proposal

Page No. \_\_\_\_\_ of \_\_\_\_\_ Pages

- Free Estimates
- Fully Insured
- Over 30 Years Experience

**W.D.C. CONCRETE, Inc.**  
 WALLS • FLOORS • DRIVEWAYS  
 RESIDENTIAL • COMMERCIAL

**WILLIAM CONGER**  
 5000 Route 193  
 Dorset, OH 44032  
 440-293-6991  
 440-645-8858

PROPOSAL SUBMITTED TO <i>Tom + Denise</i>	PHONE <i>440 479 8106</i>	DATE <i>4/1/24</i>
STREET <i>HAGEN</i>	JOB NAME <i>440-364 0226</i>	
CITY, STATE and ZIP CODE	JOB LOCATION <i>1170 Green briar</i>	
ARCHITECT	DATE OF PLANS	JOB PHONE
	<i>Rock Creek</i>	

We hereby submit specifications and estimates for:

① Back patio  
 Dig Down & install 4" base for new Concrete patio, remove old concrete patio install new 4" concrete patio w/ Step at door. 18x46 - 9,000

② Waterproof foundation -  
 Dig down below floor grade Waterproof blocks & install Drains, where applicable Approx 160 Lft. - 8000

③ Remove old Drive in front of garage Doors and replace w/ new. 19x39 - 7,000

**We Propose** hereby to furnish material and labor — complete in accordance with above specifications, for the sum of: dollars (\$ 24,000 )

Payment to be made as follows: *When Completed*

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature \_\_\_\_\_  
 Note: This proposal may be withdrawn by us if not accepted within \_\_\_\_\_ days.

**Acceptance of Proposal** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: *4/2/24*

Signature *Tom Conger*  
 Signature *Denise Hagen*



# Your Inspection Report

1170 Greenbriar Dr  
Rock Creek, OH 44084

**PREPARED FOR:**  
DENISE HAGEN

**INSPECTION DATE:**  
Monday, June 19, 2023

**PREPARED BY:**  
Ryan Latini, Lic# 2019005810



Professional Real Estate Consultants  
2088 Van Oaks Drive  
Twinsburg, OH 44087

234 212-9200

[prcoho.com](http://prcoho.com)  
[scott@prcohiq.com](mailto:scott@prcohiq.com)



Exceeding Expectations... Every Inspection.

# SUMMARY

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

Report No. 7167

[prcoho.com](http://prcoho.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

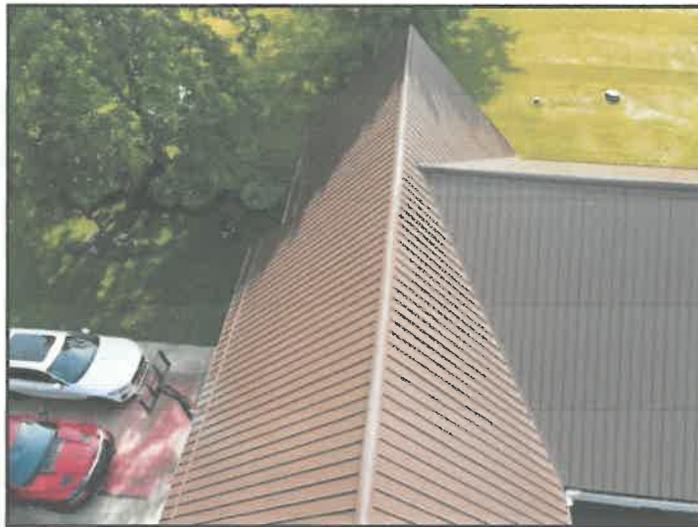
### **RECOMMENDATIONS \ Overview**

**Condition:** • Roofing appeared in overall good condition.

Metal roofing appeared in overall good condition at the time of inspection.

**Location:** Throughout Roof

**Task:** Monitor



1. Roofing appeared in overall good condition.

## Electrical

### **SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers**

**Condition:** • Breakers / fuses too big

Appears the wires powering the 200-amp breaker are undersized. Recommend having a licensed electrician evaluate and make any needed repairs.

**Implication(s):** Equipment overheating | Fire hazard

**Location:** Main Panel

**Task:** Correct

# SUMMARY

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## Common household wire and fuse sizes

14 AWG copper wire



common uses:

most circuits for lighting and receptacles, electric baseboard heaters

typical fuse/breaker size:

15 amps

10 AWG copper wire



common uses:

electric clothes dryers, air conditioners, water heaters

typical fuse/breaker size:

30 amps

12 AWG copper wire



common uses:

some receptacles, electric baseboard heaters, small air conditioners

typical fuse/breaker size:

20 amps

8 AWG copper wire

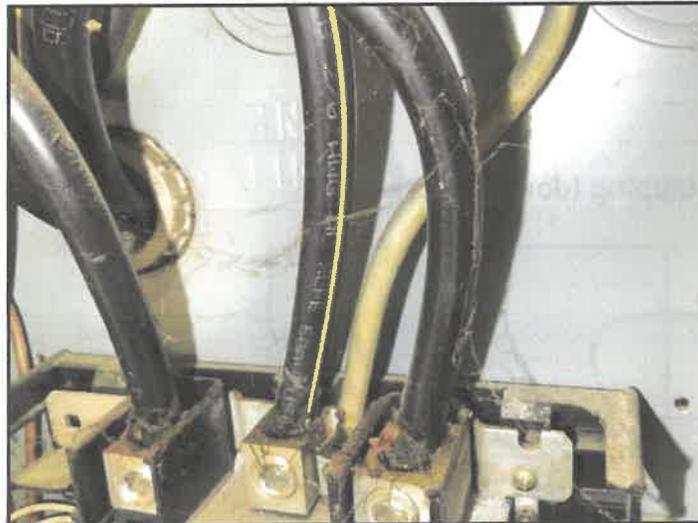


common uses:

electric stoves and ovens

typical fuse/breaker size:

40 amps



2. Not determined

**Condition:** • Breakers / fuses too big

Appears the wires powering the 50-amp breaker are undersized. Recommend having a licensed electrician evaluate and make any needed repairs.

**Implication(s):** Equipment overheating | Fire hazard

**Location:** Garage Panel

**Task:** Correct

# SUMMARY

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

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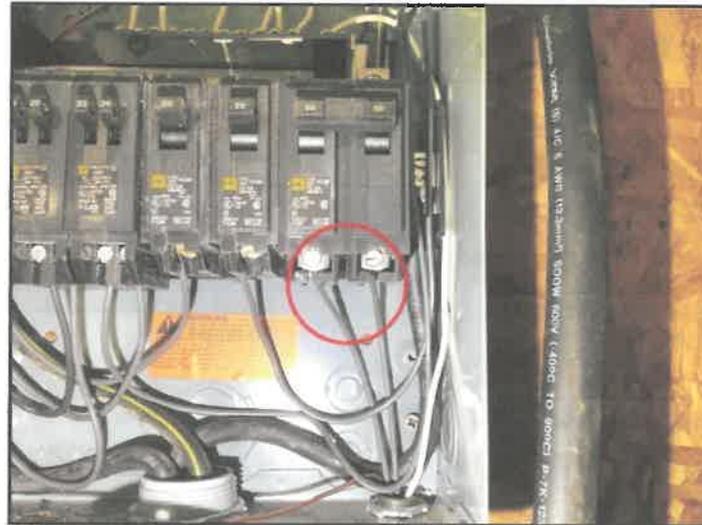
COOLING

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3. Breakers / fuses too big

## SERVICE BOX, GROUNDING AND PANEL \ Panel wires

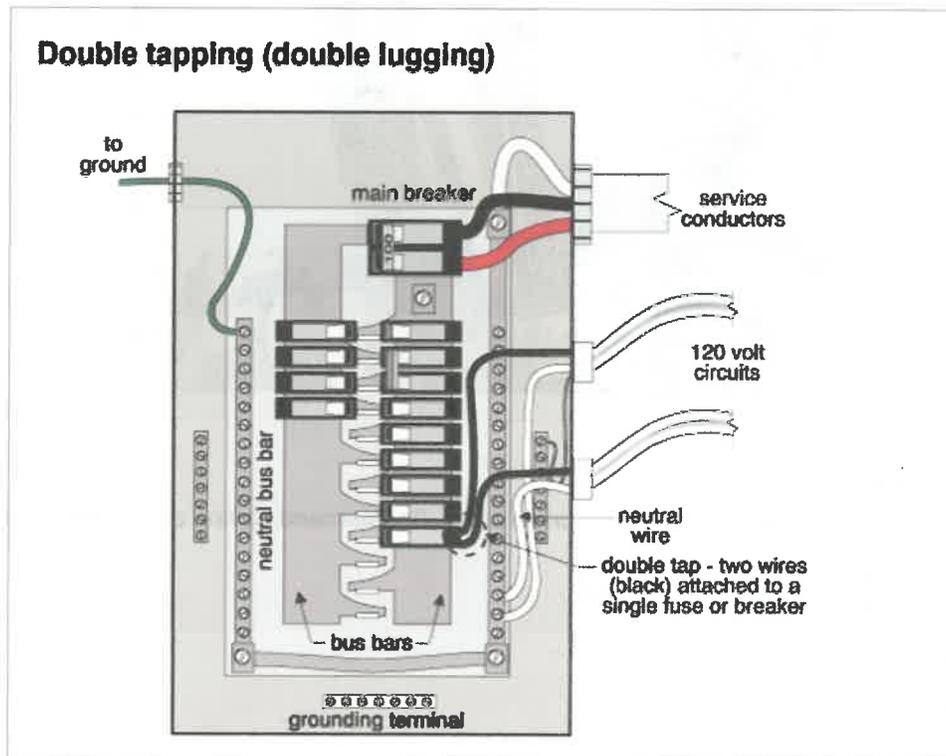
**Condition:** • Double taps

Recommend having a licensed electrician correct double taps in panel.

**Implication(s):** Fire hazard

**Location:** Panel

**Task:** Correct



# SUMMARY

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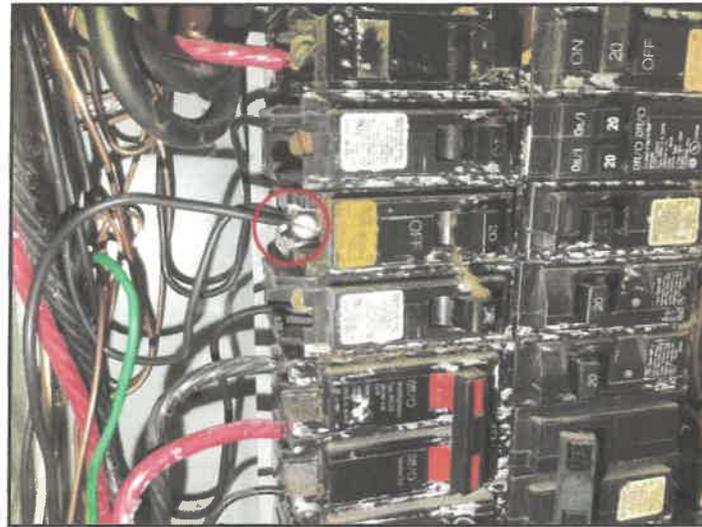
COOLING

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4. Double taps

**Condition:** • Neutral and ground wires bonded at subpanel

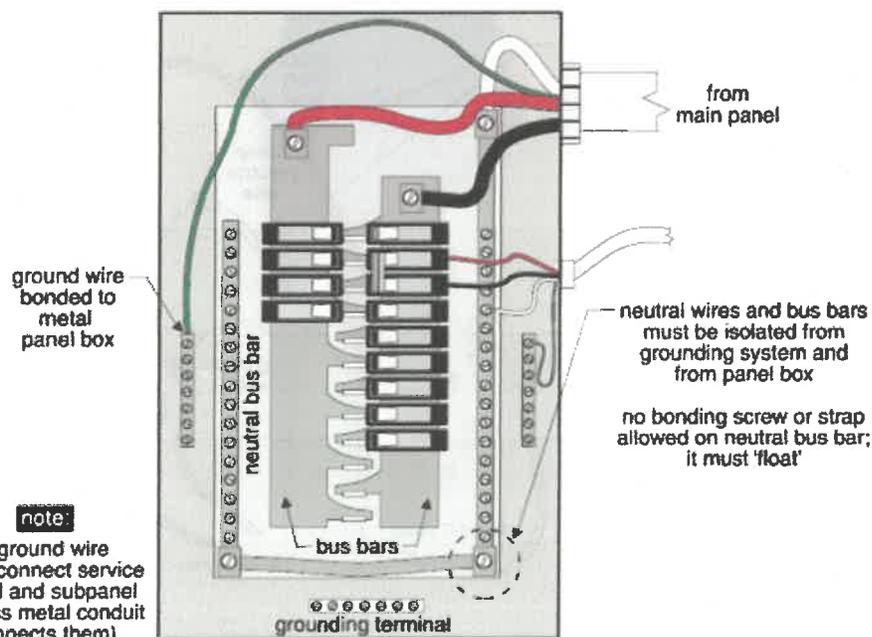
Recommend having a licensed electrician separate neutrals and grounds in the sub-panel and ensure panel is properly bonded.

**Implication(s):** Electric shock

**Location:** Sub Panel

**Task:** Correct

## Neutral and ground separated in subpanels



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5. Neutral and ground wires bonded at subpanel

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • GFCI needed

Ensure all Bath / Kitchen / Garage / Exterior outlets are GFCI protected.

**Implication(s):** Electric shock

**Location:** Garage / Outgoing building

**Task:** Correct

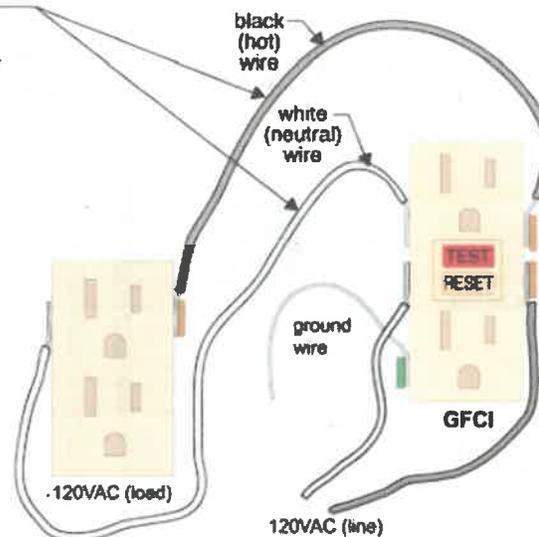
### Ground fault circuit interrupter also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

**note:**

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



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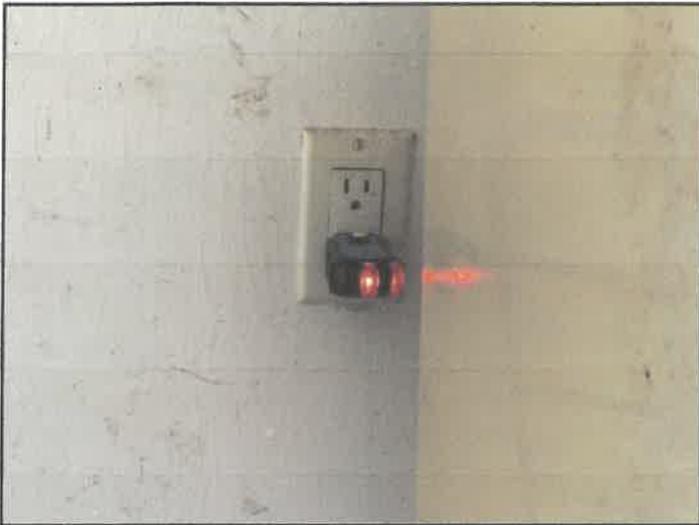
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6. GFCI needed



7. GFCI needed



8. GFCI needed

**Condition:** • Test faulty on GFCI  
GFCI outlet failed to trip and or reset.

**Implication(s):** Electric shock

**Location:** Exterior / Deck

**Task:** Replace

# SUMMARY

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9. Test faulty on GFCI

**Condition:** • Reversed polarity

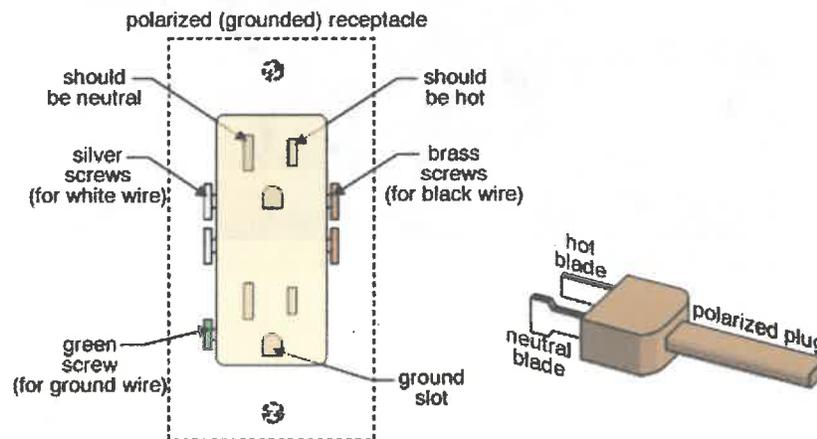
GFCI outlet showed reversed polarity. Recommend having a qualified electrician evaluate and correct.

**Implication(s):** Electric shock

**Location:** Exterior

**Task:** Correct

## Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

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10. Reversed polarity

## **DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

**Condition:** • [Ensure all smoke detectors are in the proper locations and functioning prior to moving in](#)

**Implication(s):** Life safety hazard

**Location:** Throughout interior

**Task:** Ensure detectors are present / functioning

## **DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)**

**Condition:** • [Ensure all CO detectors are in the proper locations and functioning prior to moving in](#)

**Implication(s):** Life safety hazard

**Location:** Throughout Interior

**Task:** Ensure detectors are present / functioning

## Heating

### **OPTIONAL \ Heating**

**Condition:** • 1-year old unit ran as expected at the time of inspection. Recommend servicing per manufactures specification to help prolong the life span.

**Location:** Basement

**Task:** Service

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11. No heating recommendations are offered as a...

## Cooling & Heat Pump

### **AIR CONDITIONING \ Life expectancy**

**Condition:** • Past life expectancy

27-year old unit appeared to run as expected at the time of inspection. Unit is beyond the typical life span of 15 years. Recommend having the unit serviced by an HVAC tech to help prolong the life span. Unit may need replaced in the near future.

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Exterior

**Task:** Service



12. Past life expectancy

# SUMMARY

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

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## Plumbing

### SUPPLY PLUMBING \ Water supply piping in building

**Condition:** • [Polybutylene](#)

PB supply lines have been the center of class action lawsuits. Pipes are known to leak or fail without warning. It is often recommended to replace entire supply system when found. Recommend having licensed plumber further evaluate and make replacement recommendations.

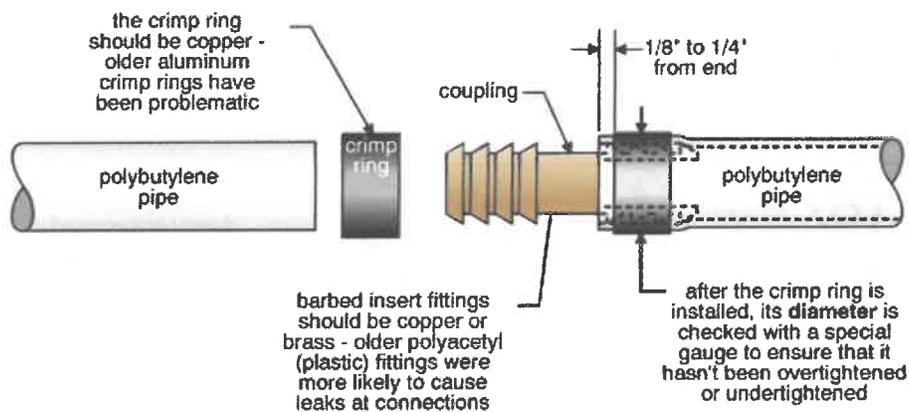
Click on the blue link above for more information. (Only water line i was able to see)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Leakage

**Location:** Throughout

**Task:** Further evaluation

### Polybutylene pipe - crimp fitting



13. Polybutylene

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### FIXTURES AND FAUCETS \ Toilet

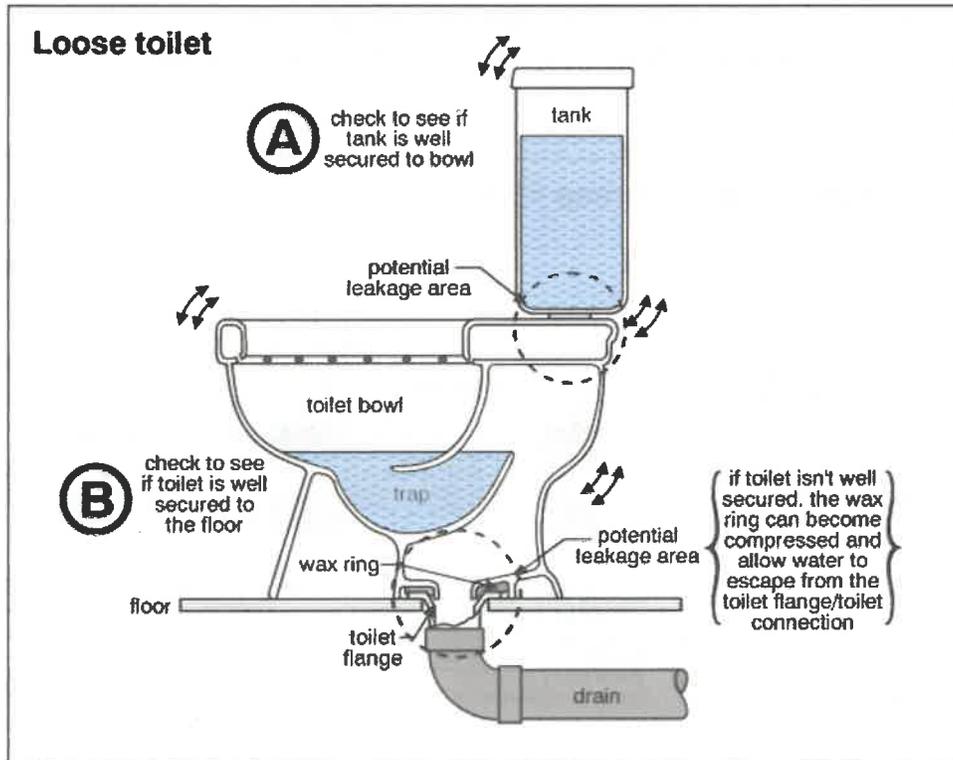
**Condition:** • [Loose](#)

Both toilets were very loose at the base. Recommend properly securing both toilets to prevent the toilets from leaking.

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Bathroom

**Task:** Correct



14. Loose



15. Loose

# SUMMARY

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[prcoho.com](http://prcoho.com)

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## Interior

### **APPLIANCES \ Range**

**Condition:** • Burner inoperative

**Implication(s):** System inoperative

**Location:** Kitchen

**Task:** Repair or replace



16. Burner inoperative

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

# ROOFING

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

Report No. 7167

[prcoho.com](http://prcoho.com)

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## Description

### Sloped roofing material:

- Asphalt shingles

Garage



17. *Asphalt shingles*

- [Metal](#)



18. *Metal*



19. *Metal*

# ROOFING

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

Report No. 7167

[prcoho.com](http://prcoho.com)

SUMMARY

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20. Metal



21. Metal



22. Metal

## Limitations

**Inspection performed:** • From roofs edge and ground

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

**Not included as part of a building inspection:** • Not readily accessible interiors of vent systems, flues, and chimneys • Antennas / Satellite Dishes

# ROOFING

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

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[prcoho.com](http://prcoho.com)

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## Recommendations

### **RECOMMENDATIONS \ Overview**

**1. Condition:** • Annual roof tune-ups are recommended to find and repair damage to roofing materials, flashings and caulking. Roof tune-ups reduce the risk of leaks and resulting water damage and help extend the service life of the roof.

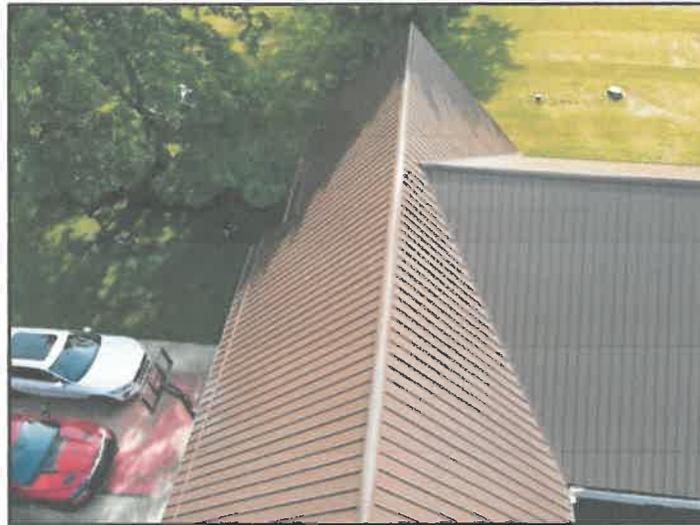
**Location:** Roof

**2. Condition:** • Roofing appeared in overall good condition.

Metal roofing appeared in overall good condition at the time of inspection.

**Location:** Throughout Roof

**Task:** Monitor



23. Roofing appeared in overall good condition.

### **SLOPED ROOFING \ Metal**

**3. Condition:** • [Missing, loose or broken pieces](#)

Screws came loose in the trim piece.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Roof

**Task:** Repair

# ROOFING

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24. Missing, loose or broken pieces



25. Missing, loose or broken pieces

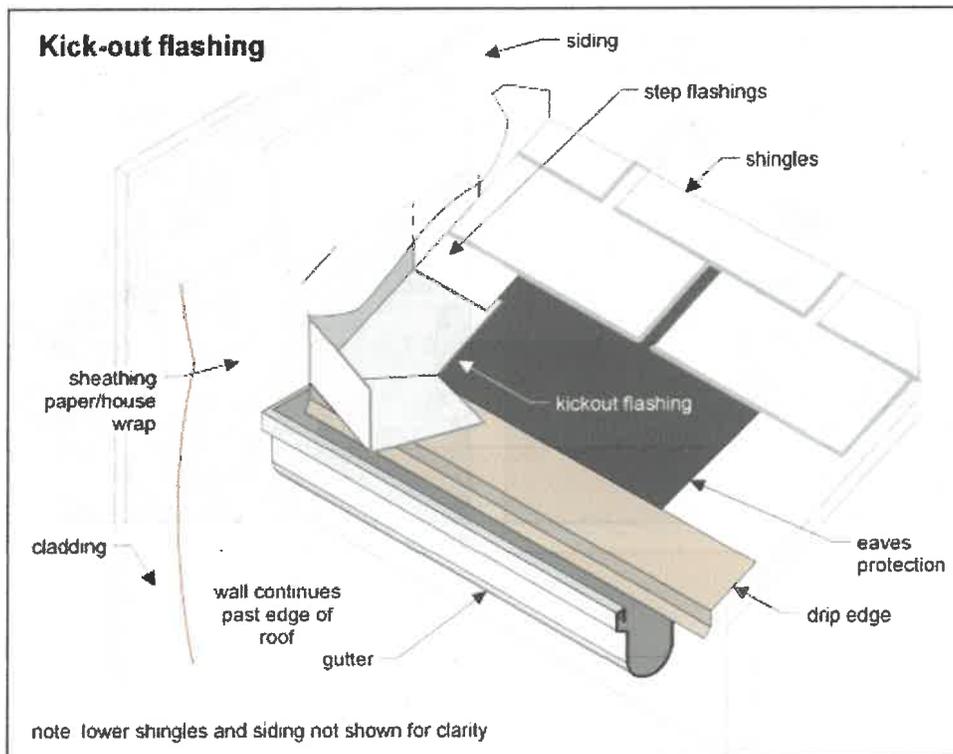
## SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

4. Condition: • Kickout flashing - missing

Implication(s): Chance of water damage to structure, finishes and contents

Location: Roof

Task: Improve



# ROOFING

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26. Kickout flashing - missing

## SLOPED ROOF FLASHINGS \ Pipe/stack flashings

5. Condition: • Inverted boot

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Roof

Task: Correct



27. Inverted boot



28. Inverted boot

# EXTERIOR

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**Gutter & downspout material:** • [Aluminum](#)

**Gutter type:** • [Eave mounted](#)

**Downspout discharge:** • Above and below grade

**Lot slope:** • [Flat](#)

**Soffit (underside of eaves) and fascia (front edge of eaves):** • [Vinyl](#)

**Wall surfaces:** • [Vinyl siding](#)

**Wall surfaces - masonry:** • [Block](#)

**Driveway / Parking area:**

• Concrete



29. Concrete

**Walkway:** • Concrete

**Deck:**

• Wood

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30. Wood

## Porch:

- Concrete



31. Concrete

## Patio:

- Concrete

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[prohio.com](http://prohio.com)

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32. Concrete

## Fence:

- Chain link



33. Chain link

Garage: • Attached

## Limitations

### Inspection limited/prevented by:

- Car and or storage in garage

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34. Car and or storage in garage



35. Car and or storage in garage



36. Car and or storage in garage

- Vines/shrubs/trees against wall



37. Car and or storage in garage

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38. *Vines/shrubs/trees against wall*



39. *Vines/shrubs/trees against wall*



40. *Vines/shrubs/trees against wall*



41. *Vines/shrubs/trees against wall*

**No or limited access to:**

- Area below steps, deck, porches

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42. Area below steps, deck, porches

**Exterior and upper floors inspected from:** • Ground level

**Not included as part of a building inspection:** • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Fences and boundary walls • Geological and soil conditions • Outbuildings other than garages and carports • Erosion control, earth stabilization measures

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations

### **RECOMMENDATIONS \ Overview**

**6. Condition:** • Replace all damaged screens.

**Location:** Exterior

**Task:** Replace



43.



44.

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**7. Condition:** • Remove hornet's net.

**Location:** Exterior

**Task:** Remove



45.

## ROOF DRAINAGE \ Gutters

**8. Condition:** • Loose

Secure loose gutter.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Roof

**Task:** Repair



46. Loose

## ROOF DRAINAGE \ Downspouts

**9. Condition:** • Discharge too close to building

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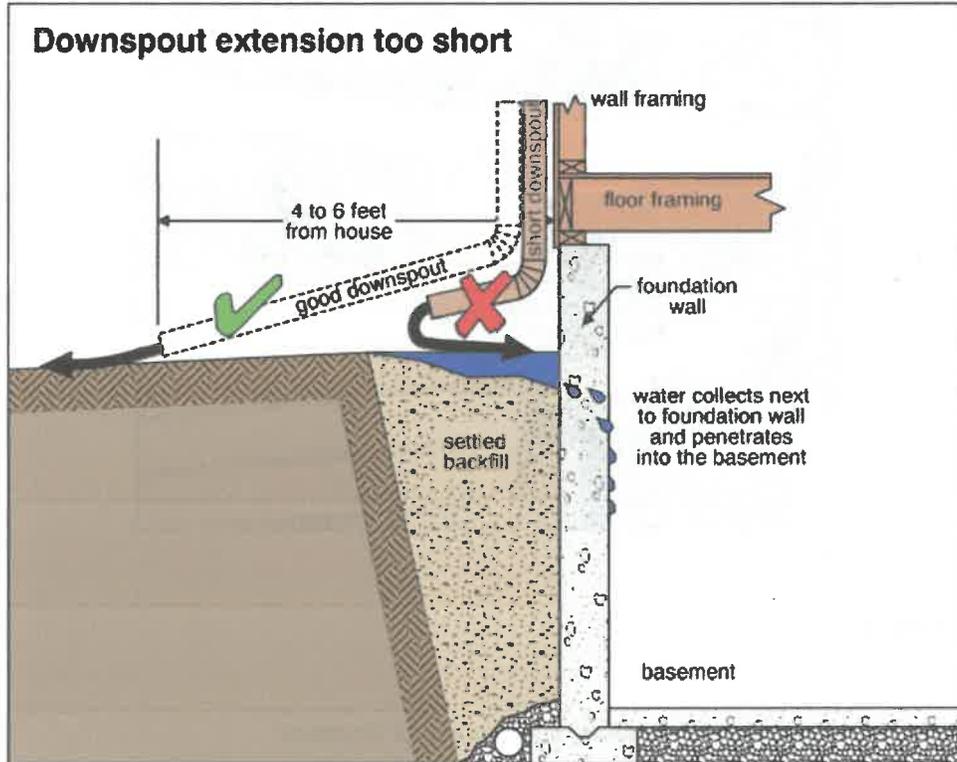
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**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior

**Task:** improve



47. Discharge too close to building

**10. Condition:** • Damaged / Crushed

**Implication(s):** Clogging / Leakage

**Location:** Exterior

**Task:** Replace



**48. Damaged / Crushed**

**11. Condition:** • Damaged crock

Repair damaged crock:

**Implication(s):** Debris entering / clogging drain tile

**Location:** Exterior

**Task:** Repair



**49. Damaged crock**

**12. Condition:** • Connections loose

**Implication(s):** Leakage

**Location:** Exterior

**Task:** Correct

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[prcoho.com](http://prcoho.com)

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50. Connections loose

## WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

13. Condition: • Loose or missing pieces

Implication(s): Chance of pests entering building

Location: Exterior

Task: Repair



51. Loose or missing pieces

## WALLS \ Trim

14. Condition: • Loose

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior

Task: Correct

# EXTERIOR

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[prochio.com](http://prochio.com)

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52. Loose



53. Loose

## WALLS \ Flashings and caulking

**15. Condition:** • Caulking missing or ineffective  
Ensure all openings into buildings are sealed.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior

**Task:** Improve



54. Caulking missing or ineffective

## WALLS \ Vinyl siding

**16. Condition:** • Mechanical damage

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior

**Task:** Repair or replace

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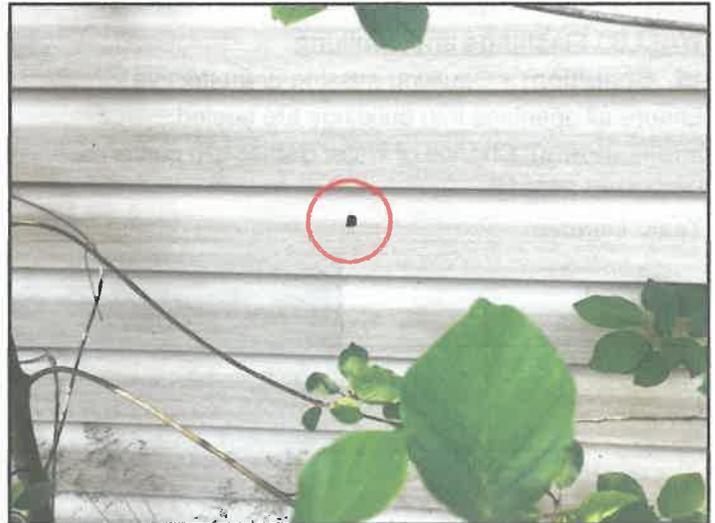
55. Mechanical damage



56. Mechanical damage



57. Mechanical damage



58. Mechanical damage

17. **Condition:** • Siding dirty

Recommend power washing siding.

**Implication(s):** Accelerated material deterioration

**Location:** Throughout Exterior

**Task:** Improve

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59. Siding dirty

## **EXTERIOR GLASS/WINDOWS \ Storms and screens**

18. Condition: • Torn or holes

A few of the screens were torn or had holes in them.

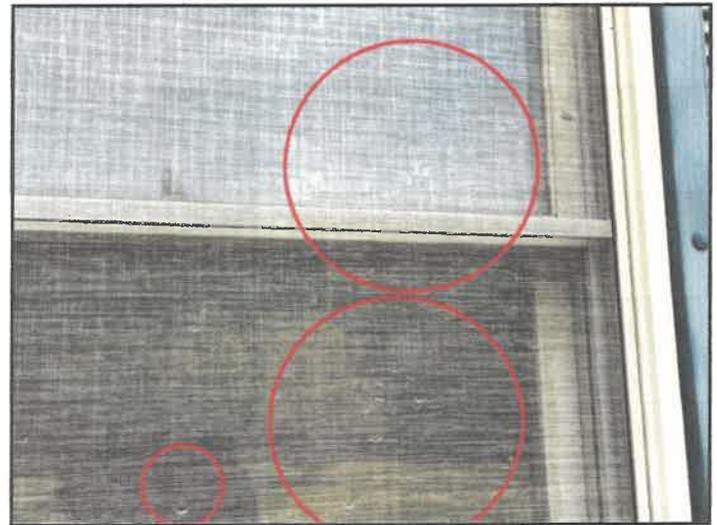
Implication(s): Chance of pests entering building

Location: Exterior

Task: Repair or replace



60. Torn or holes



61. Torn or holes

## **DOORS \ Doors and frames**

19. Condition: • Paint or stain needed

Implication(s): Accelerated material deterioration

Location: Exterior

Task: Improve

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62. *Paint or stain needed*

**20. Condition:** • Loose or poor fit

Daylight can be seen between door and jamb when closed.

**Implication(s):** Increased heating and cooling costs / chance of pests entering building

**Location:** Exterior

**Task:** Correct



63. *Loose or poor fit*

**21. Condition:** • Rubbing

**Implication(s):** Difficult to operate

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**Location:** Exterior

**Task:** Repair



64. Rubbing

## DOORS \ Exterior trim

**22. Condition:** • [Rot](#)

**Implication(s):** Chance of damage to finishes and structure

**Location:** Exterior

**Task:** Repair or replace



65. Rot

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## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

**23. Condition:** • Seal or stain decking

Recommend power washing and sealing / staining decking.

**Implication(s):** Accelerated material deterioration

**Location:** Exterior

**Task:** Improve



66. Seal or stain decking



67. Seal or stain decking

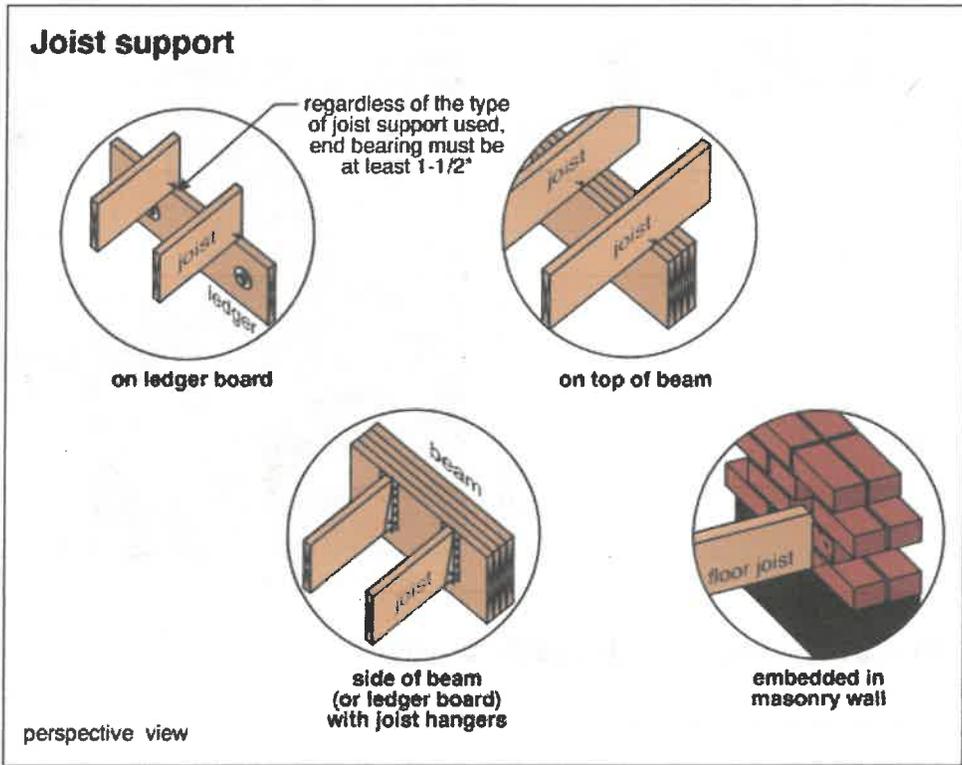
## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Ledger boards / Joists

**24. Condition:** • End bearing inadequate

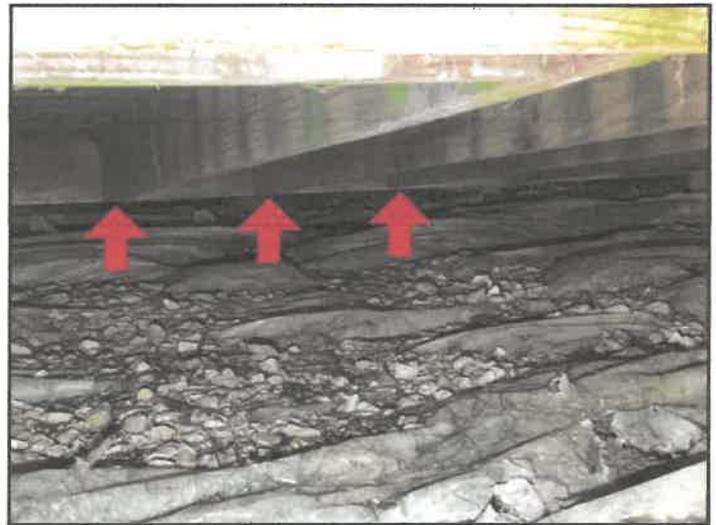
**Implication(s):** Weakened structure | Chance of movement

**Location:** Exterior

**Task:** Correct



68.



69.

**PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors**

**25. Condition:** • Sloped or Uneven

Appears the deck has settled and is now sloped towards the home. Recommend monitoring and seek further evaluation if worsens or if desired.

**Implication(s):** Poor installation / Structural movement

**Location:** Deck

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## Task: Monitor



70. Sloped or Uneven



71. Sloped or Uneven

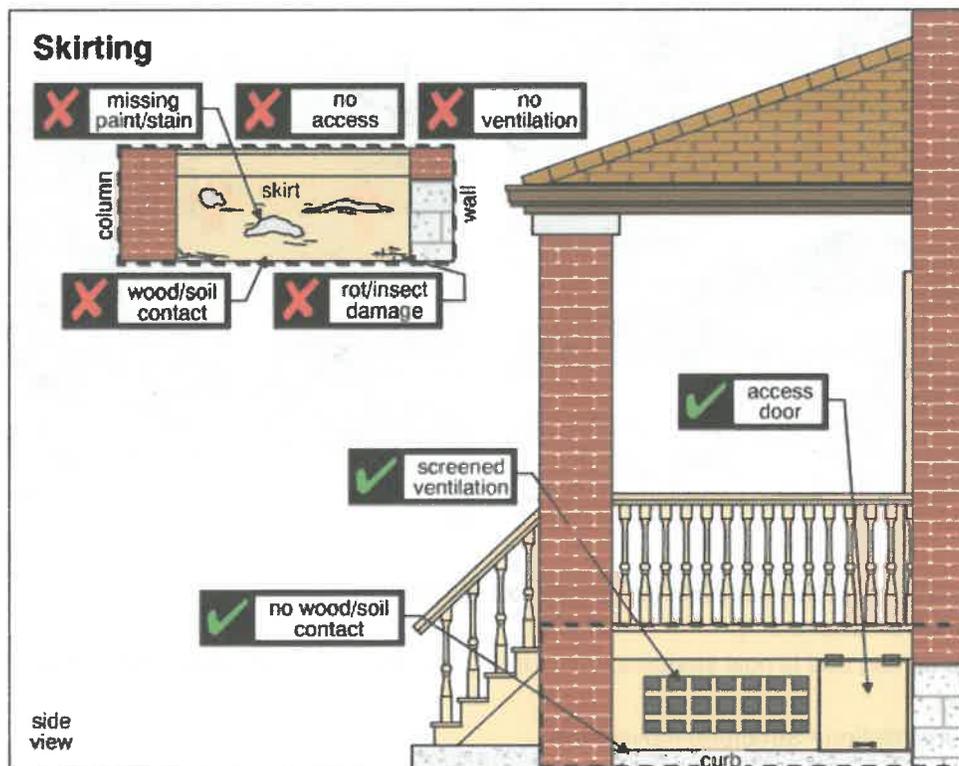
## **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Skirting**

26. Condition: • **Damage**

Implication(s): Chance of pests entering building

Location: Exterior

Task: Repair or replace



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[pcoohio.com](http://pcoohio.com)

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72. Damage



73. Damage

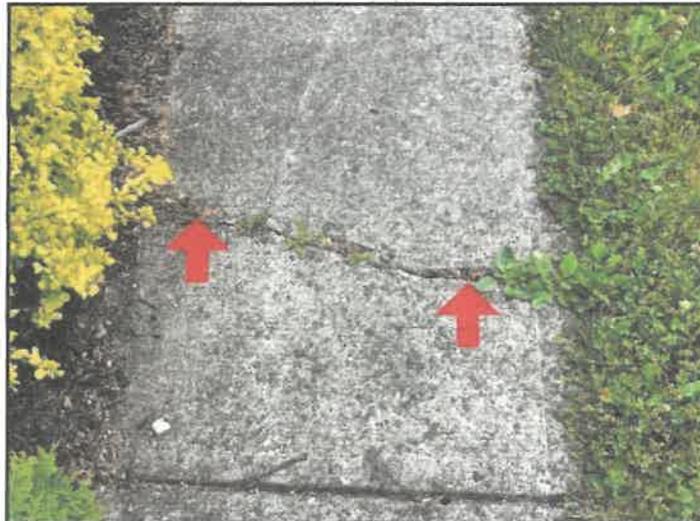
## **LANDSCAPING \ Walkway**

**27. Condition:** • Cracked or damaged surfaces

**Implication(s):** Trip or fall hazard

**Location:** Exterior

**Task:** Repair or replace



74. Cracked or damaged surfaces

## **LANDSCAPING \ Patios**

**28. Condition:** • Cracked or damaged surfaces

Porch floor has settled and cracked.

**Implication(s):** Trip / Fall hazard

**Location:** Exterior

**Task:** Repair or replace

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75. Cracked or damaged surfaces

## **LANDSCAPING \ Driveway / Parking area**

**29. Condition:** • Cracked or damaged surfaces

**Implication(s):** Accelerated Material Deterioration

**Location:** Various driveway

**Task:** Repair or replace



76. Cracked or damaged surfaces



77. Cracked or damaged surfaces

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[proohio.com](http://proohio.com)

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78. Cracked or damaged surfaces



79. Cracked or damaged surfaces

## LANDSCAPING \ Fence

30. Condition: • Gate - difficult to operate

Implication(s): Reduced operability

Location: Exterior

Task: Improve



80. Gate - difficult to operate

## GARAGE \ Door into garage from living space (man-door)

31. Condition: • No self-closer

Implication(s): Hazardous combustion products entering home | Increased fire hazard

Location: Garage

Task: Replace

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81. No self-closer

## GARAGE \ Vehicle doors

**32. Condition:** • Missing / Damaged Weatherstripping

**Implication(s):** Energy loss / Chance of pests entering building

**Location:** Garage

**Task:** Repair or replace



82. Missing / Damaged Weatherstripping



83. Missing / Damaged Weatherstripping

## Description

**Configuration:** • [Slab-on-grade](#)

**Foundation material:** • [Masonry block](#)

**Floor construction:** • Slab - concrete

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • Rafters/ceiling joists

## Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Furnishings / Storage • Insulation

**Attic/roof space:** • Entered but access was limited

**General limitations:** • Attic load bearing components concealed by insulation cannot be traversed • An opinion about the adequacy of structural components • Less than 24 inches of vertical clearance cannot be entered in under-floor crawlspace areas • Access opening smaller than 16 inches x 24 inches cannot be entered in under-floor crawlspace areas

## Recommendations

### FOUNDATIONS \ General notes

**33. Condition:** • Cracks

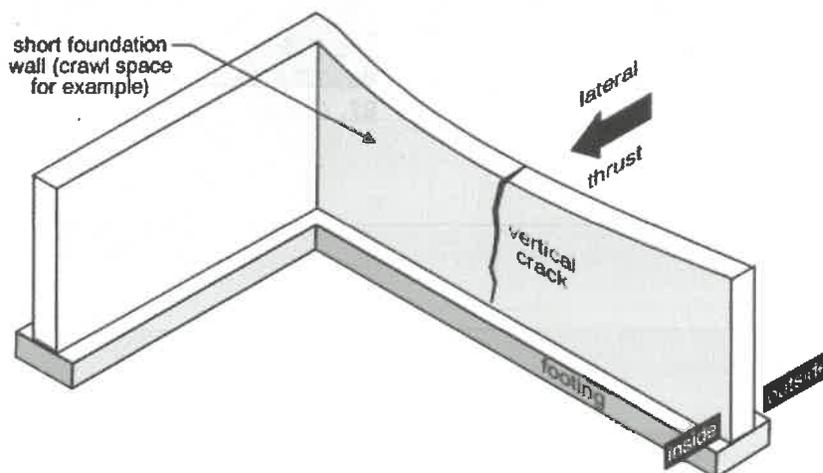
Repair all cracks and monitor for any changes.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Weakened structure

**Location:** Basement

**Task:** Monitor / Repair

### Vertical foundation cracks



in short foundation walls, horizontal forces can also cause vertical cracks (typically at the midpoint of the walls)

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84. Cracks



85. Cracks



86. Cracks



87. Cracks

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88. Cracks

**34. Condition:** • Prior repairs

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Basement

**Task:** Monitor



89. Prior repairs



90. Prior repairs

## ROOF FRAMING \ Sheathing (roof/attic)

**35. Condition:** • Water stains

Water stains noted to roof structure in the garage. Area appeared dry at the time of inspection.

**Implication(s):** Material deterioration / Active roof leak

**Location:** Garage

**Task:** Monitor / Repair

# STRUCTURE

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**91.** *Water stains*

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## Description

### Service entrance cable and location:

- Underground



92. *Underground*

**Service size:** • Not determined

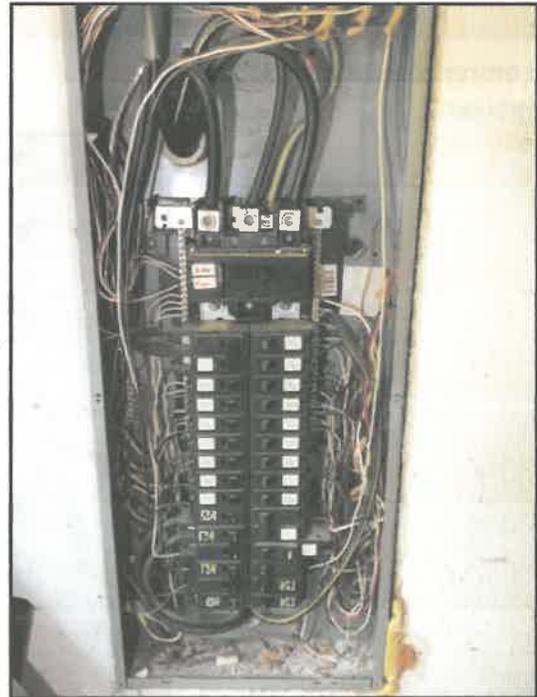
**System grounding material and type:** • [Not visible](#)

**Main panel:**

- [Breakers - garage](#)



93. Breakers - garage



94. Breakers - garage

**Sub panel type and location:**

- [Breakers - garage](#)



95. Breakers - garage

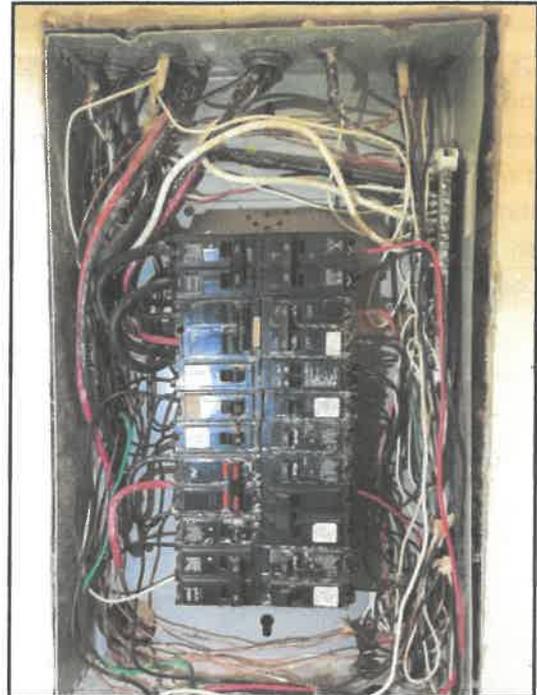


96. Breakers - garage

- Breakers - Laundry room



97. Breakers - Laundry room



98. Breakers - Laundry room

**Distribution wire (conductor) material and type:** • Copper - non-metallic sheathed • Copper - metallic sheathed • Copper - conduit

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - kitchen](#) • [GFCI - bathroom](#) • GFCI - laundry room

**Smoke alarms (detectors):** • [Present](#)

**Carbon monoxide (CO) alarms (detectors):** • None noted

## Limitations

**System ground:** • Quality of ground not determined • Continuity not verified

**Circuit labels:** • The accuracy of any circuit index (labels) was not verified.

**Not included as part of a building inspection:** • Testing of smoke and/or carbon monoxide alarms • Solar, wind, and other renewable energy systems • Amperage, voltage, and impedance measurements • Determination of the age / actual function of smoke and carbon monoxide alarms • Concealed wiring including but not limited to wiring underground, inside walls, ceilings, chases or concealed by insulation, storage, furnishings. • Smoke / heat / carbon monoxide alarms that are attached to alarm systems are not tested during the inspection.

## Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ System grounding

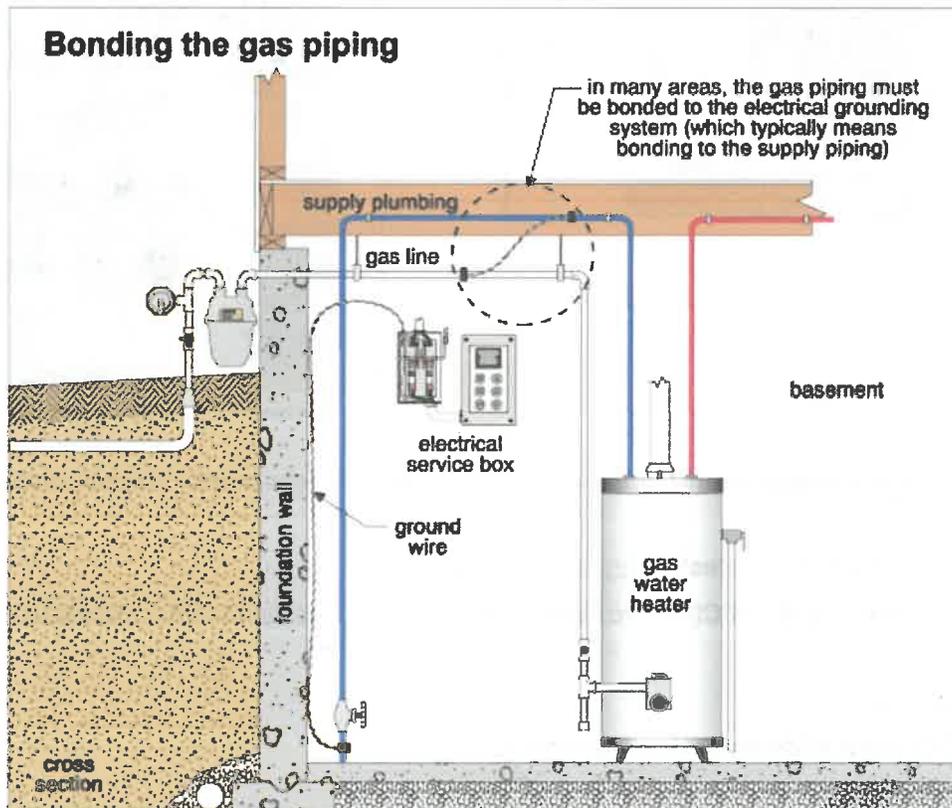
#### **36. Condition:** • Missing bonding wire

It is recommended to bond gas / water lines. If the gas lines accidentally carry electricity or even a static charge, proper bonding will allow the electricity to be carried back to its source in a safe manner.

**Implication(s):** Fire hazard

**Location:** Basement

**Task:** Correct





99. Missing bonding wire

## SERVICE BOX, GROUNDING AND PANEL \ Main and Sub panels

**37. Condition:** • Unprotected openings

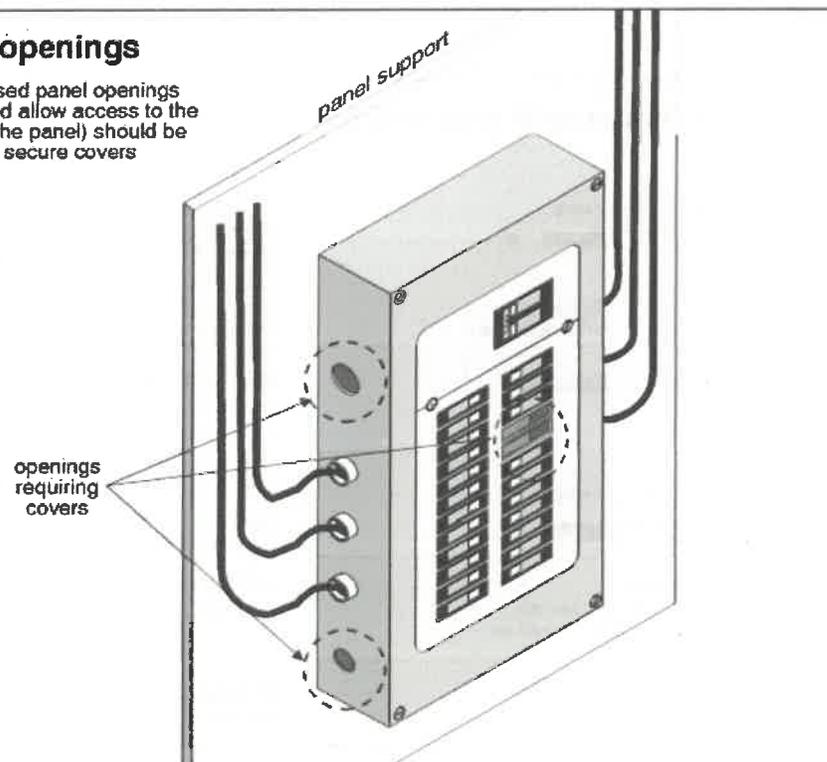
**Implication(s):** Electric shock | Fire hazard

**Location:** Panel

**Task:** Correct

### Panel openings

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers



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100. Unprotected openings

**SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers**

**38. Condition:** • Breakers / fuses too big

Appears the wires powering the 50-amp breaker are undersized. Recommend having a licensed electrician evaluate and make any needed repairs.

**Implication(s):** Equipment overheating | Fire hazard

**Location:** Garage Panel

**Task:** Correct

**Common household wire and fuse sizes**

14 AWG copper wire



common uses:  
most circuits for lighting and receptacles, electric baseboard heaters

typical fuse/breaker size:  
15 amps

10 AWG copper wire



common uses:  
electric clothes dryers, air conditioners, water heaters

typical fuse/breaker size:  
30 amps

12 AWG copper wire



common uses:  
some receptacles, electric baseboard heaters, small air conditioners

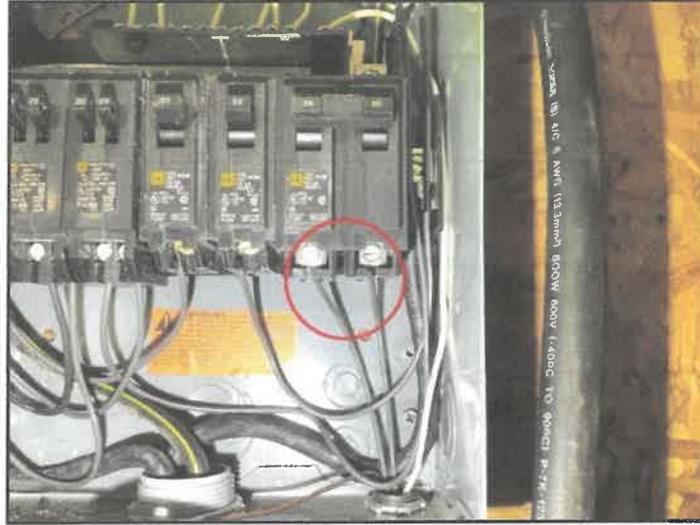
typical fuse/breaker size:  
20 amps

8 AWG copper wire



common uses:  
electric stoves and ovens

typical fuse/breaker size:  
40 amps



101. Breakers / fuses too big

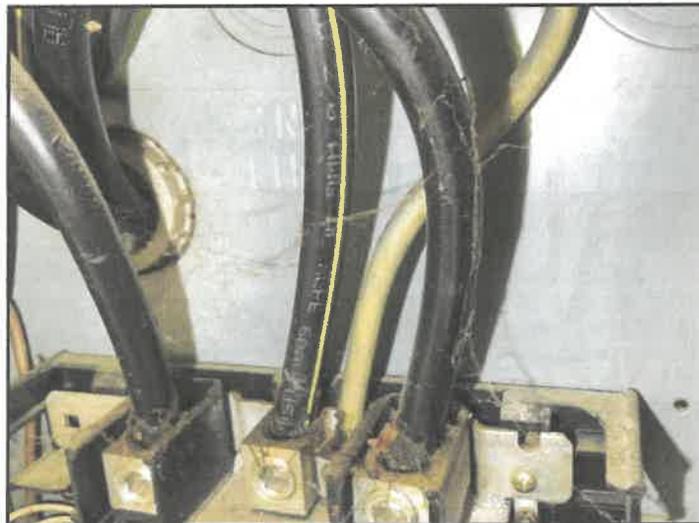
**39. Condition:** • Breakers / fuses too big

Appears the wires powering the 200-amp breaker are undersized. Recommend having a licensed electrician evaluate and make any needed repairs.

**Implication(s):** Equipment overheating | Fire hazard

**Location:** Main Panel

**Task:** Correct



102. Not determined

**SERVICE BOX, GROUNDING AND PANEL \ Panel wires**

**40. Condition:** • Double taps

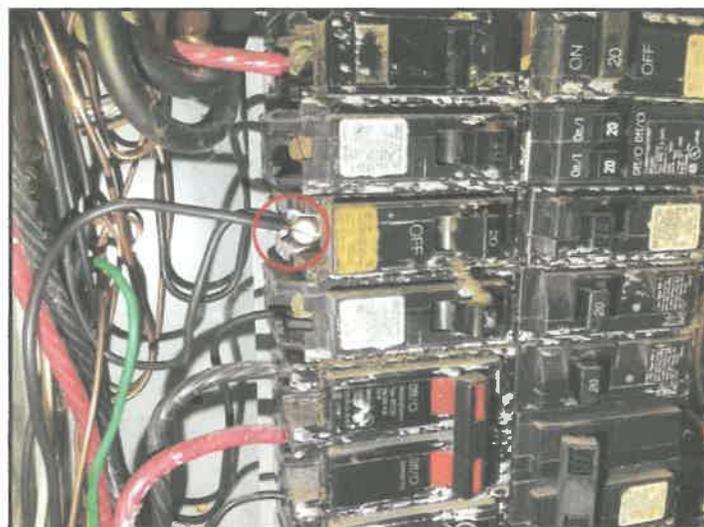
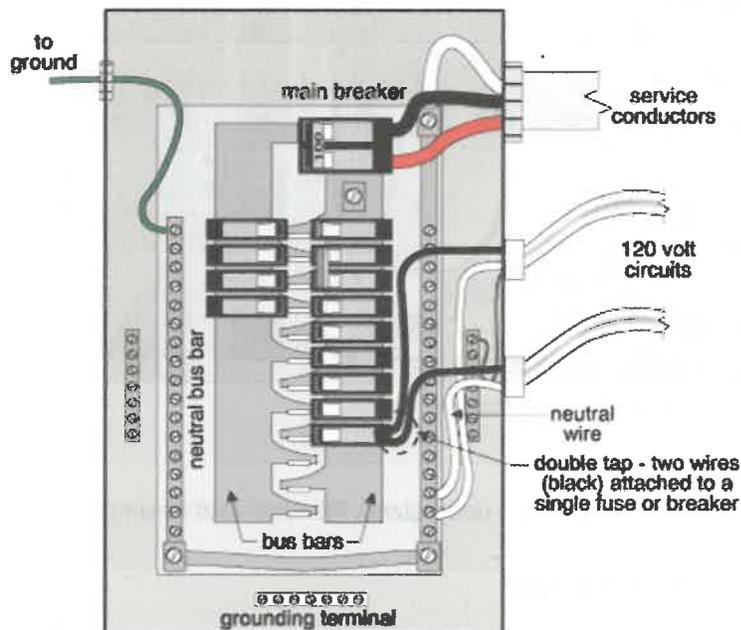
Recommend having a licensed electrician correct double taps in panel.

**Implication(s):** Fire hazard

**Location:** Panel

**Task:** Correct

### Double tapping (double lugging)



**103. Double taps**

**41. Condition:** • Neutral and ground wires bonded at subpanel

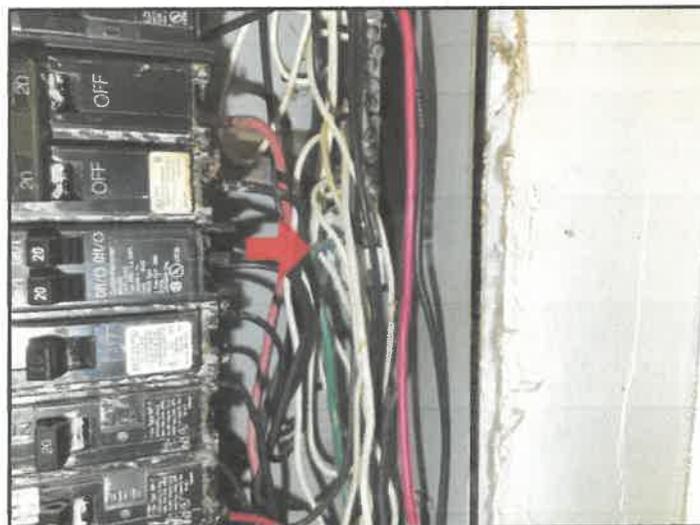
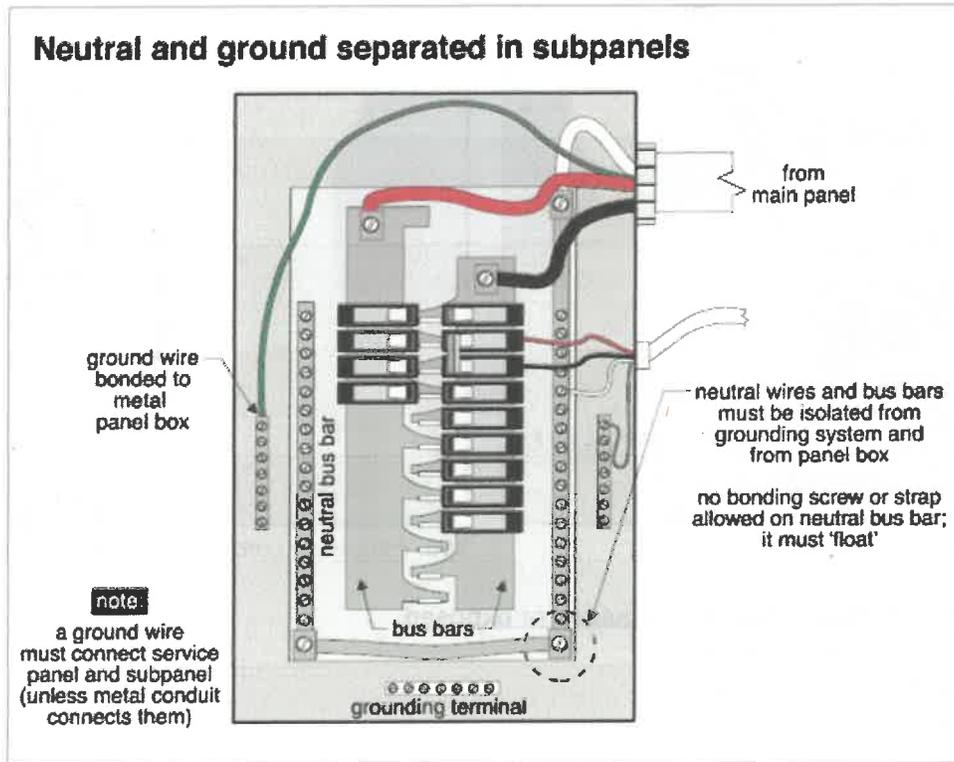
Recommend having a licensed electrician separate neutrals and grounds in the sub-panel and ensure panel is properly bonded.

**Implication(s):** Electric shock

**Location:** Sub Panel

**Task:** Correct

**Neutral and ground separated in subpanels**



**104.** Neutral and ground wires bonded at subpanel

**DISTRIBUTION SYSTEM \ Wiring (wires) - installation**

**42. Condition:** • Extension cord used as permanent wiring

Recommend removing extension cord and properly installing outlet / light fixture box.

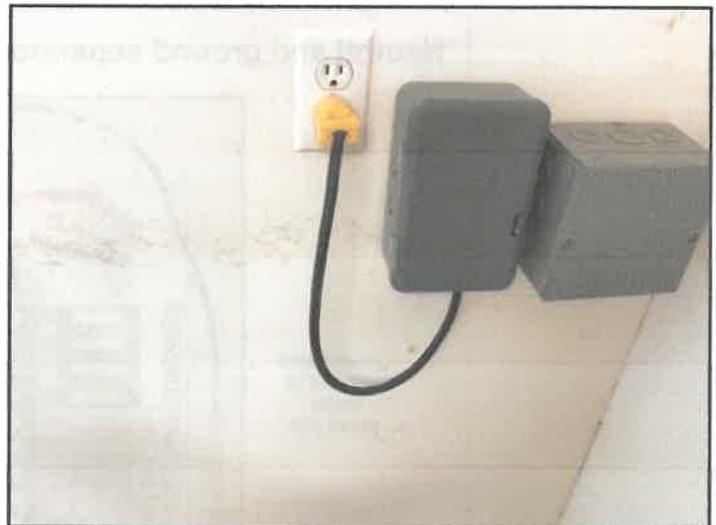
**Implication(s):** Electric shock | Fire hazard

**Location:** Garage / Laundry room

**Task: Correct**



105. Extension cord used as permanent wiring



106. Extension cord used as permanent wiring

**DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed**

**43. Condition:** • Exposed on walls or ceilings

Wire should be in conduit or armored cable.

**Implication(s):** Electric shock -

**Location:** Utility room

**Task: Correct**



107. Exposed on walls or ceilings

**44. Condition:** • Exposed

**Implication(s):** Electric shock

**Location:** Exterior

**Task: Repair**



108. Exposed

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

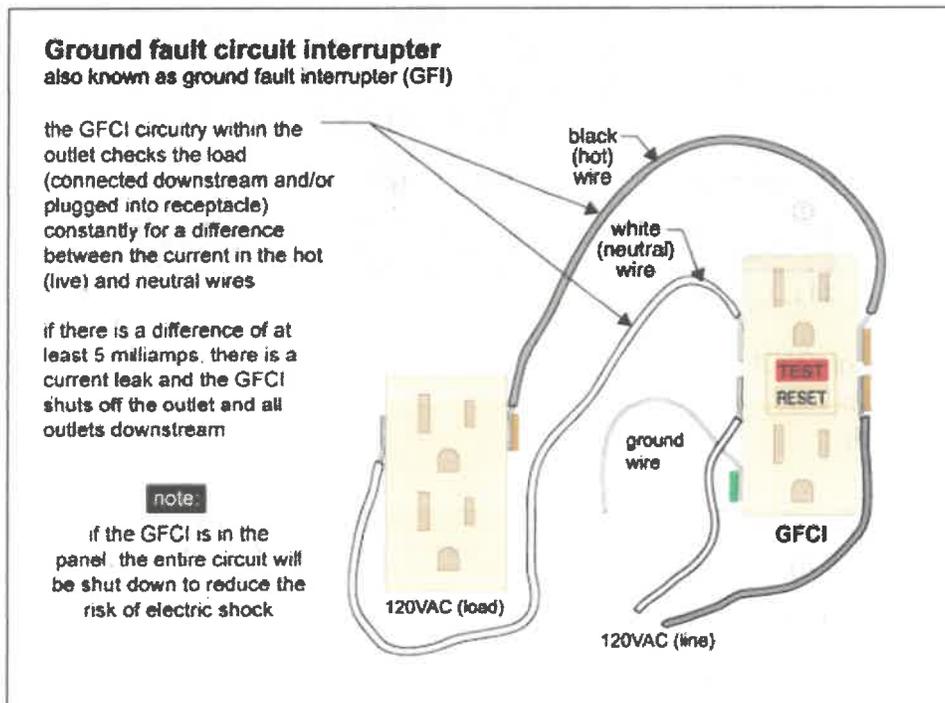
45. Condition: • GFCI needed

Ensure all Bath / Kitchen / Garage / Exterior outlets are GFCI protected.

**Implication(s):** Electric shock

**Location:** Garage / Outgoing building

**Task:** Correct



# ELECTRICAL

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[procoho.com](http://procoho.com)

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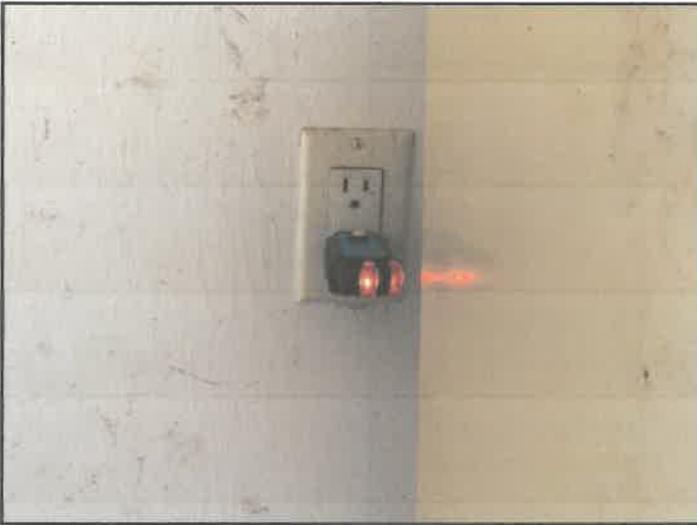
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109. GFCI needed



110. GFCI needed



111. GFCI needed

**46. Condition:** • Test faulty on GFCI

GFCI outlet failed to trip and or reset.

**Implication(s):** Electric shock

**Location:** Exterior / Deck

**Task:** Replace



112. Test faulty on GFCI

**47. Condition:** • Reversed polarity

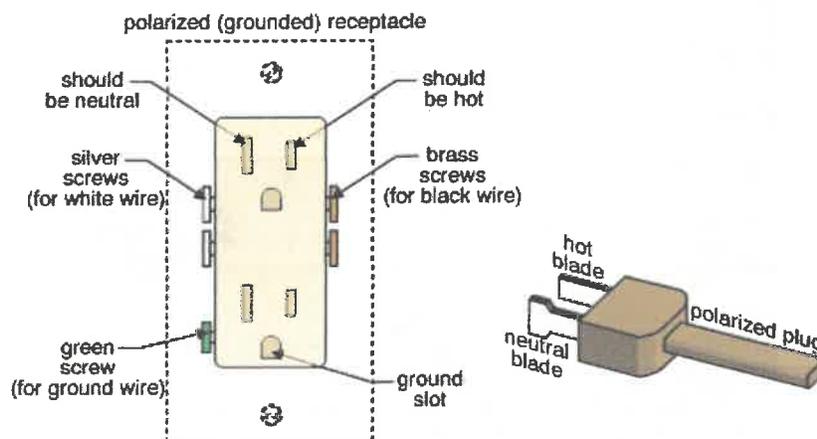
GFCI outlet showed reversed polarity. Recommend having a qualified electrician evaluate and correct.

**Implication(s):** Electric shock

**Location:** Exterior

**Task:** Correct

### Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws



113. *Reversed polarity*

**48. Condition:** • Dedicated circuit needed  
Refrigerator should be on a dedicated circuit.

**Location:** Laundry room

**Task:** Correct



114. *Dedicated circuit needed*

## **DISTRIBUTION SYSTEM \ Switches**

**49. Condition:** • Inoperative

Unable to determine what switch / switches operate. Ask current owner for clarification.

**Implication(s):** Inadequate lighting / Nuisance

**Location:** Bathroom

**Task:** Check with current owner

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115. *Inoperative*

**50. Condition:** • Poor location  
Switches are located behind the door.  
**Implication(s):** Nuisance  
**Location:** Bedroom  
**Task:** Improve



116. *Poor location*

**DISTRIBUTION SYSTEM \ Cover plates**

**51. Condition:** • Missing  
**Implication(s):** Electric shock  
**Task:** Replace

# ELECTRICAL

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117. Missing



118. Missing

**52. Condition:** • Damaged

**Implication(s):** Electric shock

**Location:** Exterior

**Task:** Replace



119. Damaged

## **DISTRIBUTION SYSTEM \ Lights**

**53. Condition:** • Inoperative

**Implication(s):** Inadequate lighting / Nuisance

**Location:** First floor closet

**Task:** Correct

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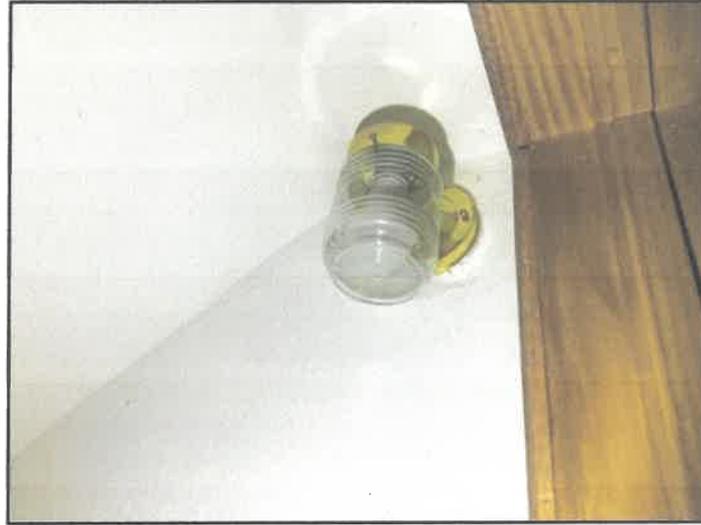
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120. Inoperative

**54. Condition:** • Missing light cover

**Implication(s):** Electrical Hazard

**Location:** Closet

**Task:** Replace



121. Missing light cover

### **DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

**55. Condition:** • [Ensure all smoke detectors are in the proper locations and functioning prior to moving in](#)

**Implication(s):** Life safety hazard

**Location:** Throughout Interior

**Task:** Ensure detectors are present / functioning

### **DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)**

**56. Condition:** • [Ensure all CO detectors are in the proper locations and functioning prior to moving in](#)

# ELECTRICAL

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**Implication(s):** Life safety hazard

**Location:** Throughout Interior

**Task:** Ensure detectors are present / functioning

# HEATING

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prcoho.com

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## Description

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

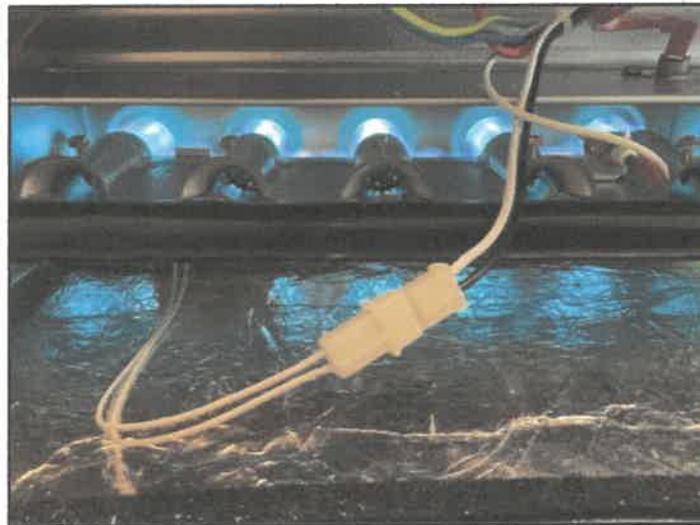
• Carrier



122. Carrier



123. Carrier



124. Carrier

Heat distribution: • [Ducts and registers](#)

# HEATING

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**Approximate capacity:** • [100,000 BTU/hr](#)

**Efficiency:** • [High-efficiency](#)

**Exhaust venting method:** • [Direct vent](#)

**Combustion air source:** • Outside - sealed combustion

**Approximate age:** • [1 year](#)

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Main fuel shut off at:** • Meter

**Failure probability:** • [Low](#)

**Air filter:**

• 20" x 25"



125. 20" x 25"

• 5" thick

**Auxiliary heat:**

• Electric wall heater

# HEATING

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126. Electric wall heater



127. Electric wall heater



128. Electric wall heater

Auxiliary heat: • Garage

# HEATING

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129.

## Limitations

**Warm weather:** • Prevents testing heating effectiveness

**Heat exchanger:** • Not visible

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

**Not included as part of a building inspection:** • Safety devices • Heat loss calculations • Heat exchangers / Carbon monoxide levels • Zone, boiler and radiator valves • Boiler and condensate pumps • Humidifiers and dehumidifiers • Electronic air cleaners • Whole house mechanical ventilation systems • Interiors of vent systems, flues, and chimneys • Heating systems using ground source, water source, solar, and renewable energy technology • Gas fireplaces or logs that need to be lit manually

## Recommendations

### **RECOMMENDATIONS \ Overview**

**57. Condition:** • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

### **OPTIONAL \ Heating**

**58. Condition:** • 1-year old unit ran as expected at the time of inspection. Recommend servicing pre manufactures specification to help prolong the life span.

**Location:** Basement

**Task:** Service

# HEATING

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[proohio.com](http://proohio.com)

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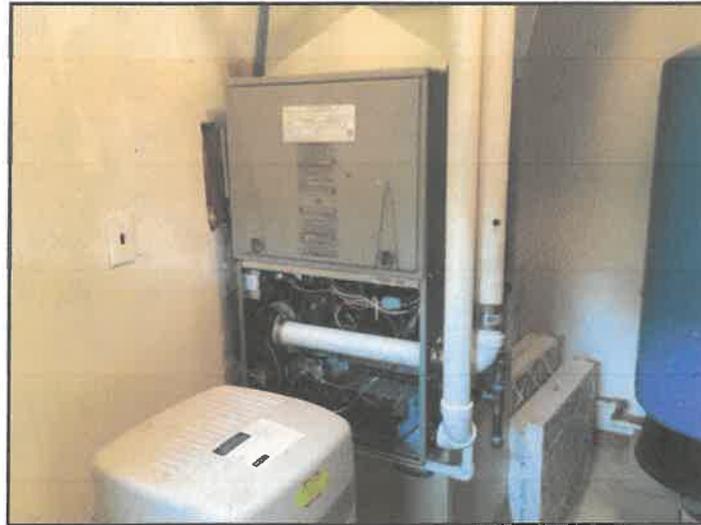
COOLING

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130. No heating recommendations are offered as a...

## FURNACE \ Air filter

59. Condition: • I was unable to remove the furnace filter at the time of inspection.

Location: Utility room

Task: Improve



131.

## FURNACE \ Ducts, registers and grilles

60. Condition: • No heat source

Implication(s): Reduced comfort

Location: Front entrance

Task: Improve

# HEATING

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[prohio.com](http://prohio.com)

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**132.** *No heat source*

# COOLING & HEAT PUMP

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[prcoho.com](http://prcoho.com)

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## Description

**Air conditioning type:** • Central

**Manufacturer:**

• Carrier



133. Carrier



134. Carrier

**Cooling capacity:** • 3 Tons

**Compressor approximate age:** • 27 years

**Typical life expectancy:** • 12 to 15 years

**Failure probability:** • [High](#)

**Condensate system:** • Discharges to exterior

## Limitations

**Not included as part of a building inspection:** • Cooling system adequacy • Cooling system distribution balance • Window units • Ground source, water source, solar, and renewable energy technology • Heat gain or heat loss calculations • Inspection of indoor / outdoor coils • Gas levels in A/C systems

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## Description

### Attic/roof insulation material:

- Batt



136. Batt



137. Batt



138. Batt



139. Batt

# INSULATION AND VENTILATION

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[prcoho.com](http://prcoho.com)

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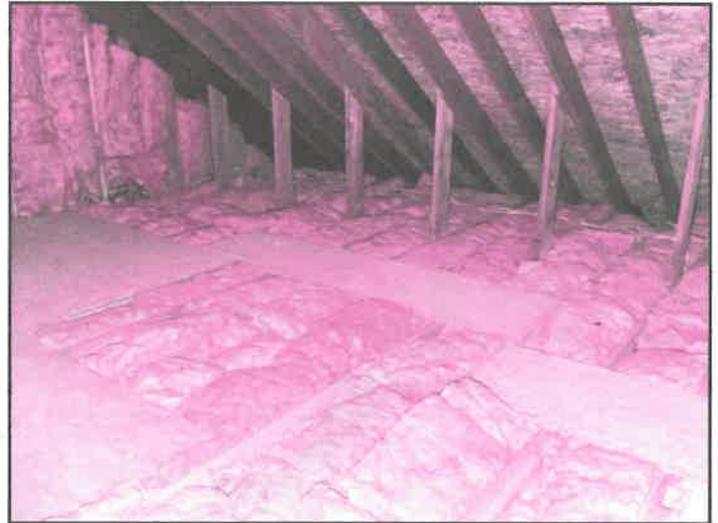
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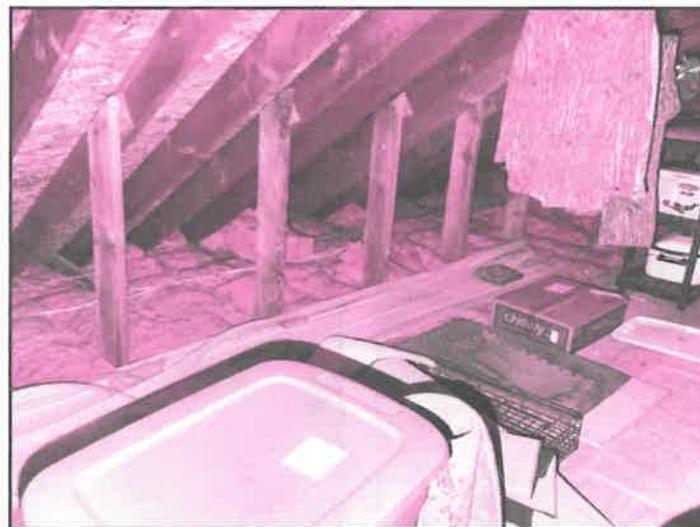
REFERENCE



140. Batt



141. Batt



142. Batt

**Attic/roof insulation amount/value:** • Not determined

**Attic/roof ventilation:** • Ridge and Soffit vents

**Wall insulation material:** • Not visible

**Wall insulation amount/value:** • Not determined

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## Limitations

**Inspection limited/prevented by lack of access to:** • Wall space • Floor space

**Attic inspection performed:**

- By entering knee walls spaces
- Access was limited due to the insulation, duct work and storage.

**Roof ventilation system performance:** • Not evaluated

**Not included as part of a building inspection:** • Items obscured by insulation / Inspectors can not disturb insulation • Roof ventilation system performance • Environmental issues such as Asbestos

## Recommendations

### ATTIC/ROOF \ Hatch/Door

**62. Condition:** • Not insulated and/or weatherstripped

**Implication(s):** Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs |

Reduced comfort

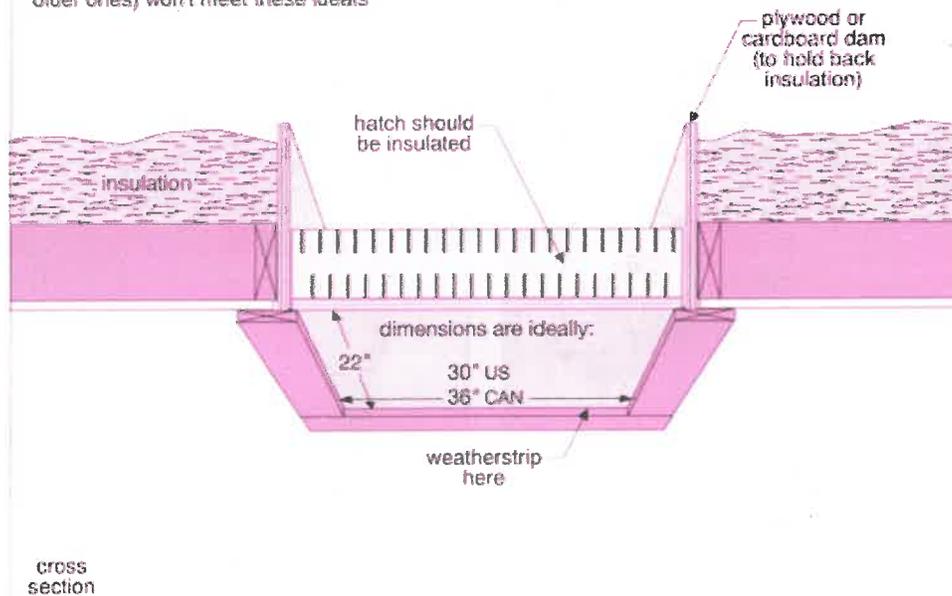
**Location:** Attic

**Task:** Improve

### Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals



# INSULATION AND VENTILATION

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143. Not insulated and/or weatherstripped

## VENTILATION \ General notes

**63. Condition:** • Soffit vents blocked by insulation

Recommend installing baffles to prevent insulation from blocking soffit vents.

**Implication(s):** Chance of condensation damage to finishes and/or structure / Mold growth

**Location:** Attic

**Task:** Correct



144. Soffit vents blocked by insulation



145. Soffit vents blocked by insulation

# INSULATION AND VENTILATION

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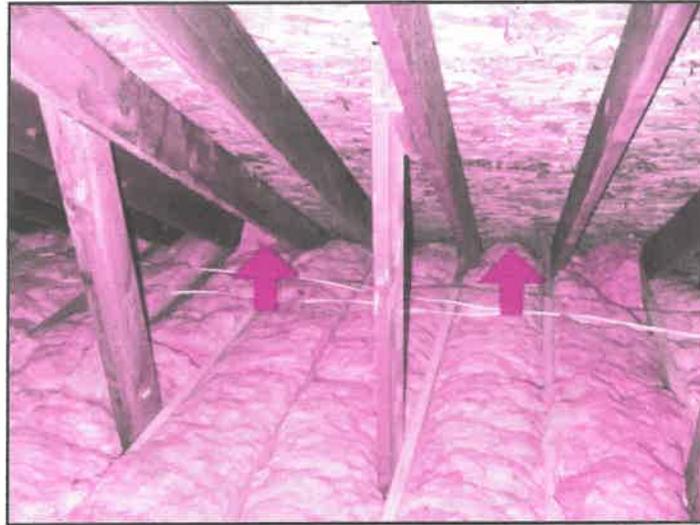
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**146.** *Soffit vents blocked by insulation*

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## Description

**General:** • Jacuzzi tub ran as expected at the time of inspection.



147.

**Water supply source (based on observed evidence):** • Private

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:**

• Utility room



148. Utility room

**Water flow and pressure:** • [Functional](#)

**Water heater type:** • [Conventional](#)

# PLUMBING

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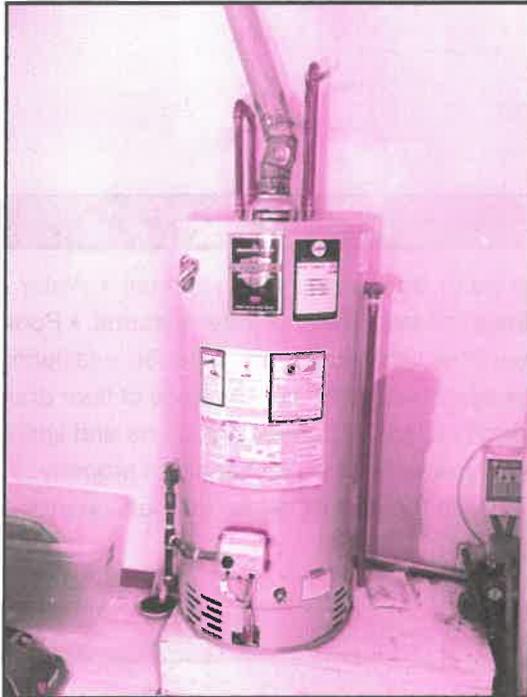
**Water heater location:** • Utility room

**Water heater fuel/energy source:** • Gas

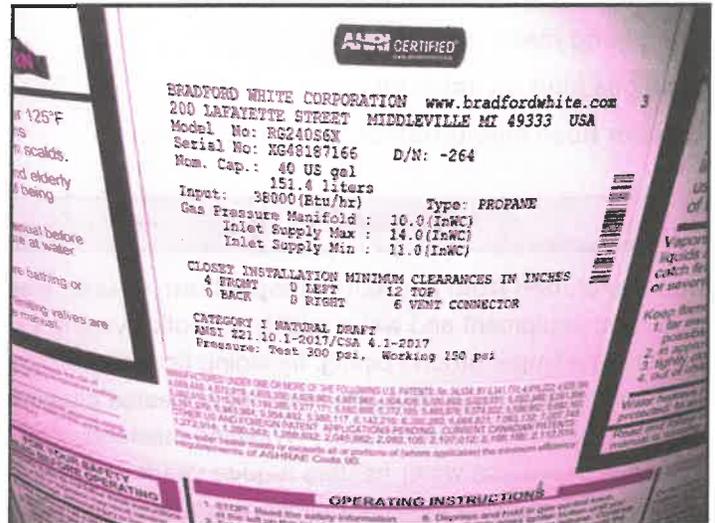
**Water heater exhaust venting method:** • Induced draft

**Water heater manufacturer:**

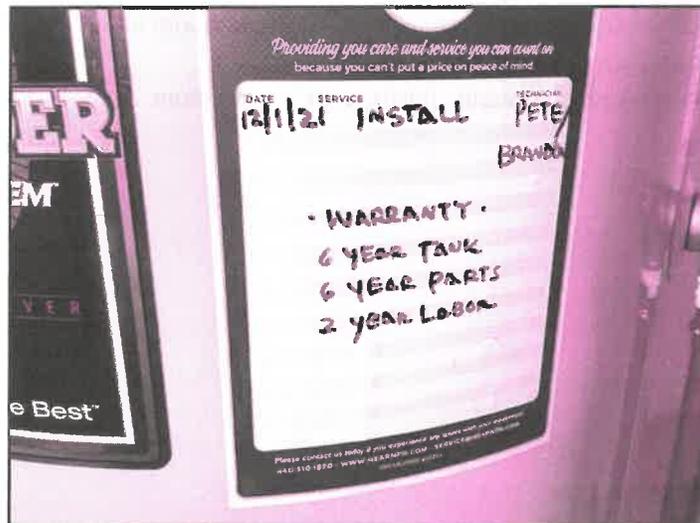
- Bradford White



149. Bradford White



150. Bradford White



151. Bradford White

**Water heater tank capacity:** • 40 gallons

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- Water heater approximate age:** • 2 years
- Water heater typical life expectancy:** • 10 to 15 years
- Waste disposal system:** • [Septic system](#)
- Waste and vent piping in building:** • [PVC plastic](#)
- Floor drain location:** • None found
- Gas piping material:** • Steel
- Main gas shut off valve location:** • Exterior
- Exterior hose bibb (outdoor faucet):** • Present

## Limitations

**Items excluded from a building inspection:** • Wells, well pumps and water storage related equipment • Water treatment equipment and water quality • Septic system • Landscape irrigation systems and water features • Pools / Spas / Hot tubs • Under ground piping. Including floor drains, supply and drain lines both interior and exterior. • Isolating / safety relief and main shut-off valves • Concealed plumbing • Tub/sink overflows • The performance of floor drains or clothes washing machine drains • Washing machines and connected drain / supply • Fire extinguishers and sprinkler systems • Tankless water heaters require yearly maintenance. Determining whether the unit has been properly maintained is outside the scope of this inspection. Recommend checking with the current owner for maintenance records.

## Recommendations

### RECOMMENDATIONS \ Washing machine pan / General Recs

**64. Condition:** • Missing safety pan for washing machine

It is recommended that laundry areas located in or near a finished area should have a safety pan under washing machine that is plumbed to a drain or a floor drain present.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Laundry area

**Task:** Improve

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152. Missing safety pan for washing machine

**SUPPLY PLUMBING \ Water supply piping in building**

**65. Condition:** • [Polybutylene](#)

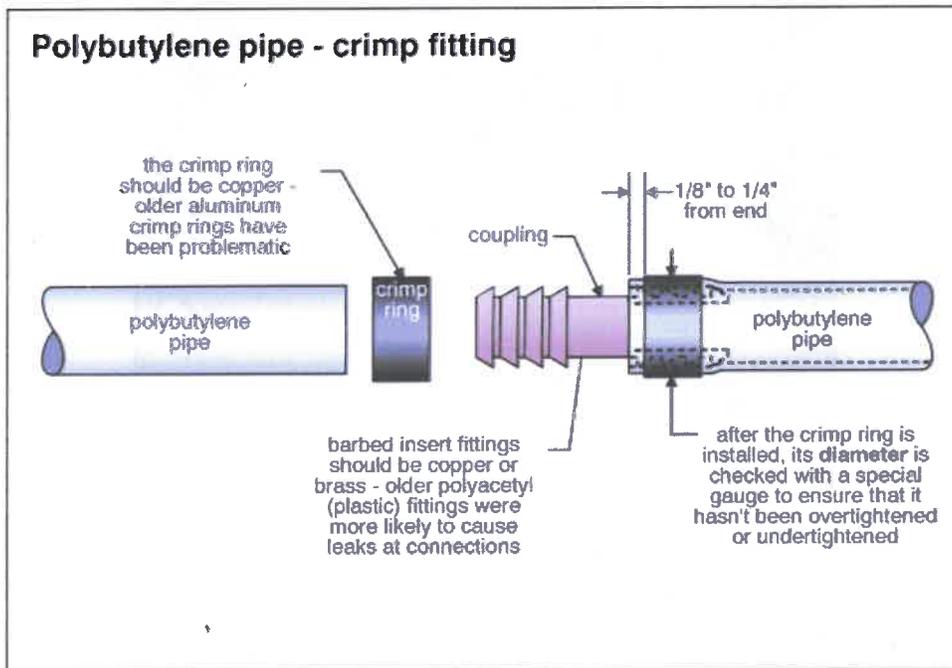
PB supply lines have been the center of class action lawsuits. Pipes are known to leak or fail without warning. It is often recommended to replace entire supply system when found. Recommend having licensed plumber further evaluate and make replacement recommendations.

Click on the blue link above for more information. (Only water line i was able to see)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Leakage

**Location:** Throughout

**Task:** Further evaluation





153. Polybutylene

### WATER HEATER \ Tank

**66. Condition:** • Safety pan / Drain missing

A safety pan plumbed to a drain or a floor drain is recommended when tank is installed in or near finished areas.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Task:** Correct



154. Safety pan / Drain missing

### WASTE PLUMBING \ Traps - performance

**67. Condition:** • Corroded

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Bathroom

**Task:** Replace



155. Corroded

### **FIXTURES AND FAUCETS \ Hose bibb / Spigot**

**68. Condition:** • Not Frost Free

Recommend replacing older style spigots with newer frost free styles when feasible.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout Exterior

**Task:** Improve



156. Not Frost Free

### **FIXTURES AND FAUCETS \ Faucets**

**69. Condition:** • No hot water to the utility sink.

**Location:** Laundry room

**Task:** Repair or Replace



157.

## **FIXTURES AND FAUCETS \ Bathtub**

**70. Condition:** • Drain stop missing

**Implication(s):** Reduced operability

**Location:** Bathroom

**Task:** Replace



158. Drain stop missing

## **FIXTURES AND FAUCETS \ Toilet**

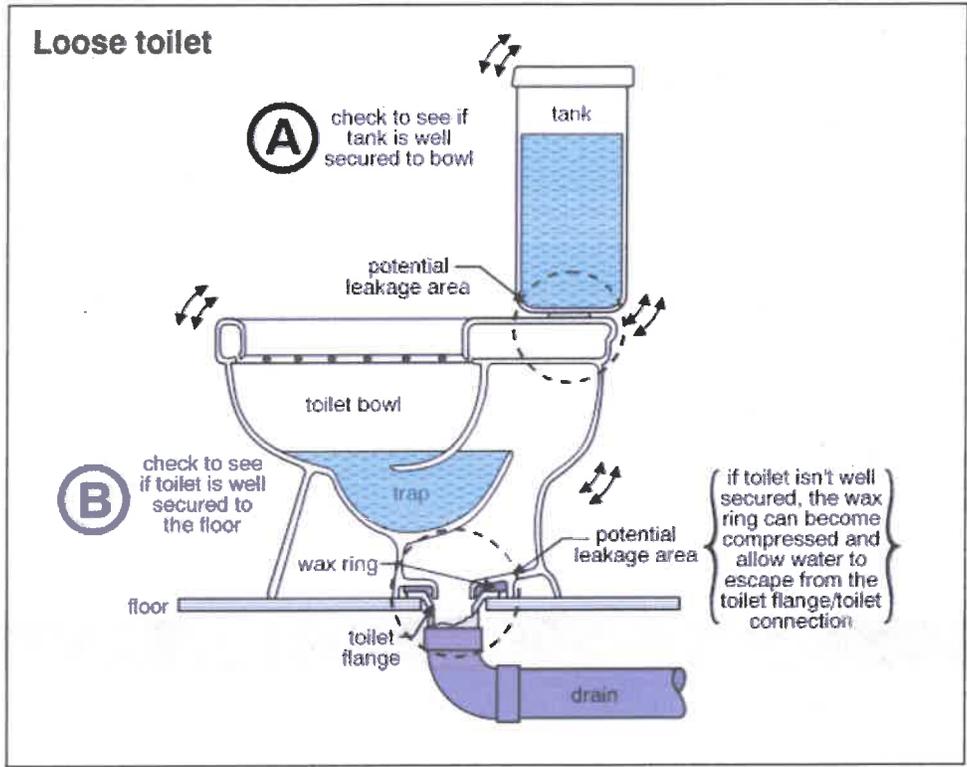
**71. Condition:** • **Loose**

Both toilets were very loose at the base. Recommend properly securing both toilets to prevent the toilets from leaking.

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Bathroom

**Task: Correct**



159. Loose



160. Loose

## Description

**Major floor finishes:** • [Carpet](#) • [Laminate](#) • Tile

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Single/double hung](#)

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [Metal](#)

**Doors:** • Inspected

**Appliances:** • Refrigerator • Dishwasher • Microwave/Exhaust Fan Combo • Range

**Laundry facilities:** • Laundry tub

**Kitchen ventilation:** • Recirculating type

**Bathroom ventilation:** • Exhaust fan

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

**Inspection limited/prevented by:**

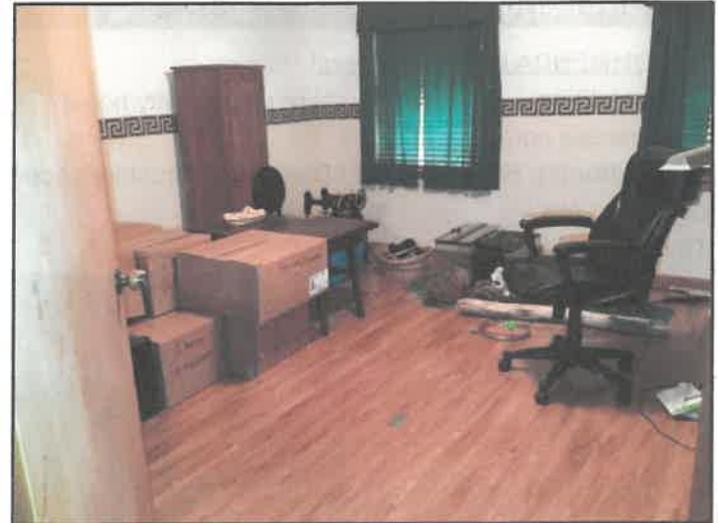
- Storage/furnishings



161. Storage/furnishings



162. Storage/furnishings



163. Storage/furnishings

164. Storage/furnishings

- Storage in closets and cabinets / cupboards



165. Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Security and intercom systems • Central vacuum systems • Cosmetic issues • Decorative items • Aesthetics or quality of finishes • Window treatments • Vermin, including wood destroying organisms ( unless performing a W.D.I. inspection ) • Environmental issues including asbestos • Flooring under carpet, rugs or mats

**Appliances:** • Washing machines and dryers are not part of the building inspection • Safety devices / self cleaning features are not tested during a building inspection • Appliances are not moved during an inspection

**Basement / Crawlspace leakage:** • The inspection performed is a snap shot of the basement foundation performance at the time of inspection. We are unable to predict how much or how often a foundation will or can leak no matter what the findings during the inspection. If there is any concern at all on clients part, we recommend further evaluation by a licensed waterproofing contractor.

## Recommendations

### RECOMMENDATIONS \ General

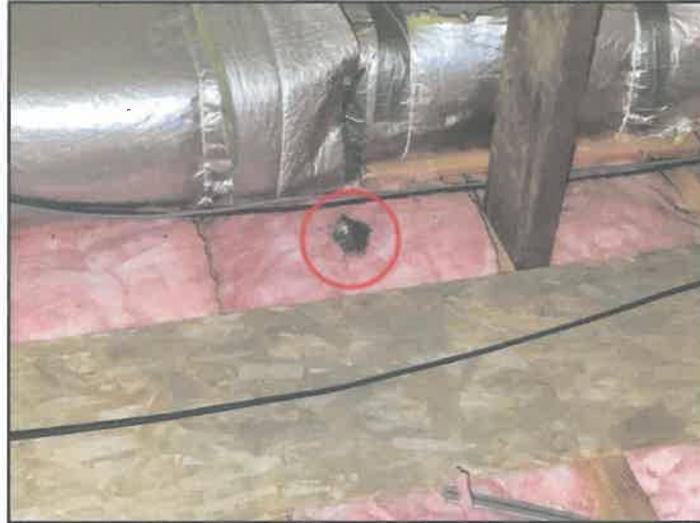
**72. Condition:** • Signs of animal or pest activity noted

Dead mouse noted in attic area.

**Implication(s):** Health hazard / Damage to structure or contents

**Location:** Attic

**Task:** Consult with exterminator



166. Signs of animal or pest activity noted

### CEILINGING \ General notes

**73. Condition:** • Water stains

Water stains noted to ceiling/s. Area/s tested dry with moisture meter at the time of inspection.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Kitchen

**Task:** Monitor / Repair



167. Water stains

# INTERIOR

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

Report No. 7167

[prcoho.com](http://prcoho.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## WALLS \ Plaster or drywall

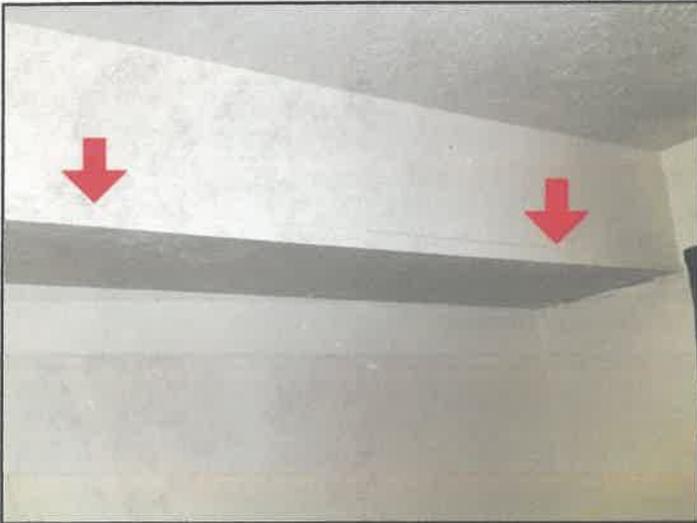
**74. Condition:** • Cracks

Repair all cracks.

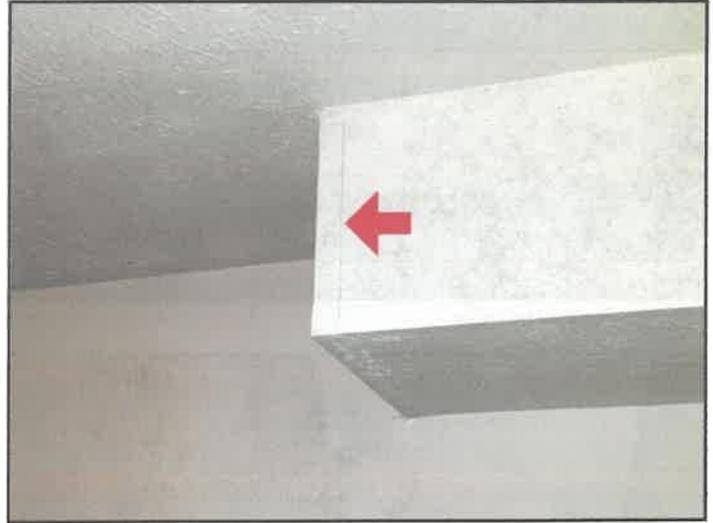
**Implication(s):** Structural movement

**Location:** Various

**Task:** Monitor / Repair



168. Cracks



169. Cracks



170. Cracks



171. Cracks

## FLOORS \ General notes

**75. Condition:** • Sloped / Uneven

**Implication(s):** Structural settling / movement

**Location:** Second floor

**Task:** Repair

# INTERIOR

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

Report No. 7167

[prochio.com](http://prochio.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

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COOLING

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PLUMBING

INTERIOR

REFERENCE



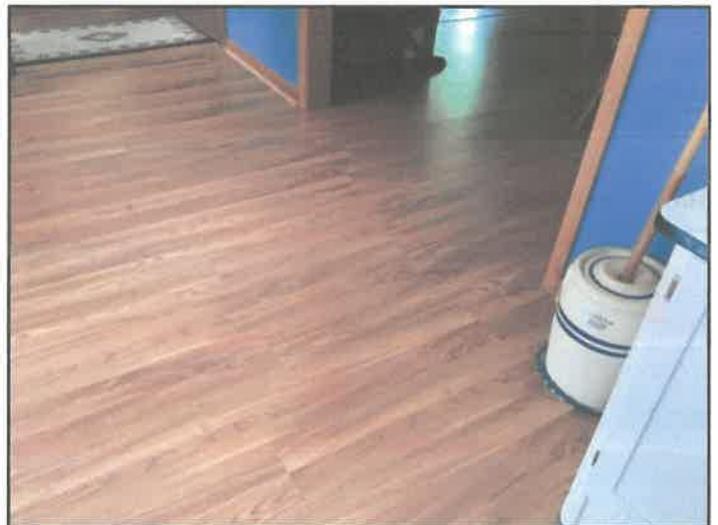
172. Sloped / Uneven



173. Sloped / Uneven



174. Sloped / Uneven



175. Sloped / Uneven

# INTERIOR

1170 Greenbriar Dr, Rock Creek, OH June 19, 2023

Report No. 7167

prcoho.com

SUMMARY

ROOFING

EXTERIOR

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INTERIOR

REFERENCE



176. Sloped / Uneven

## FLOORS \ Wood/laminate floors

76. Condition: • Damaged

Implication(s): Trip or fall hazard

Location: Interior-Bedroom / Living room

Task: Repair or replace



177. Damaged



178. Damaged

77. Condition: • Exposed tongues

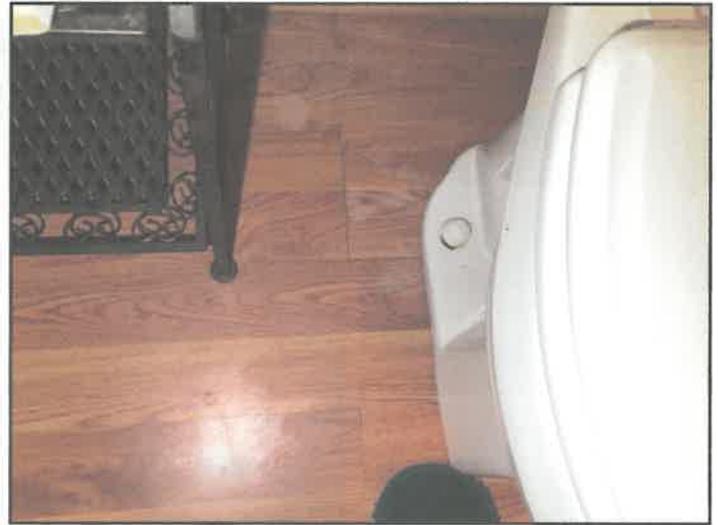
Implication(s): Reduced system life expectancy

Location: Interior-Bathroom

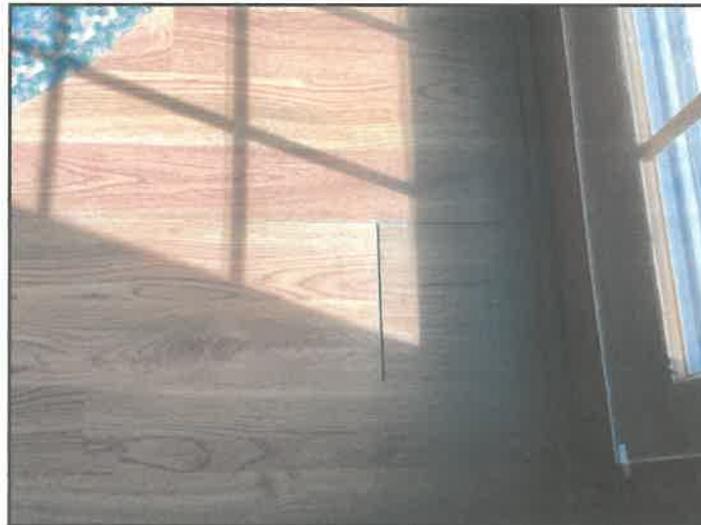
Task: Repair or replace



179. Exposed tongues



180. Exposed tongues



181. Exposed tongues

**FLOORS \ Ceramic tile, stone, marble, etc**

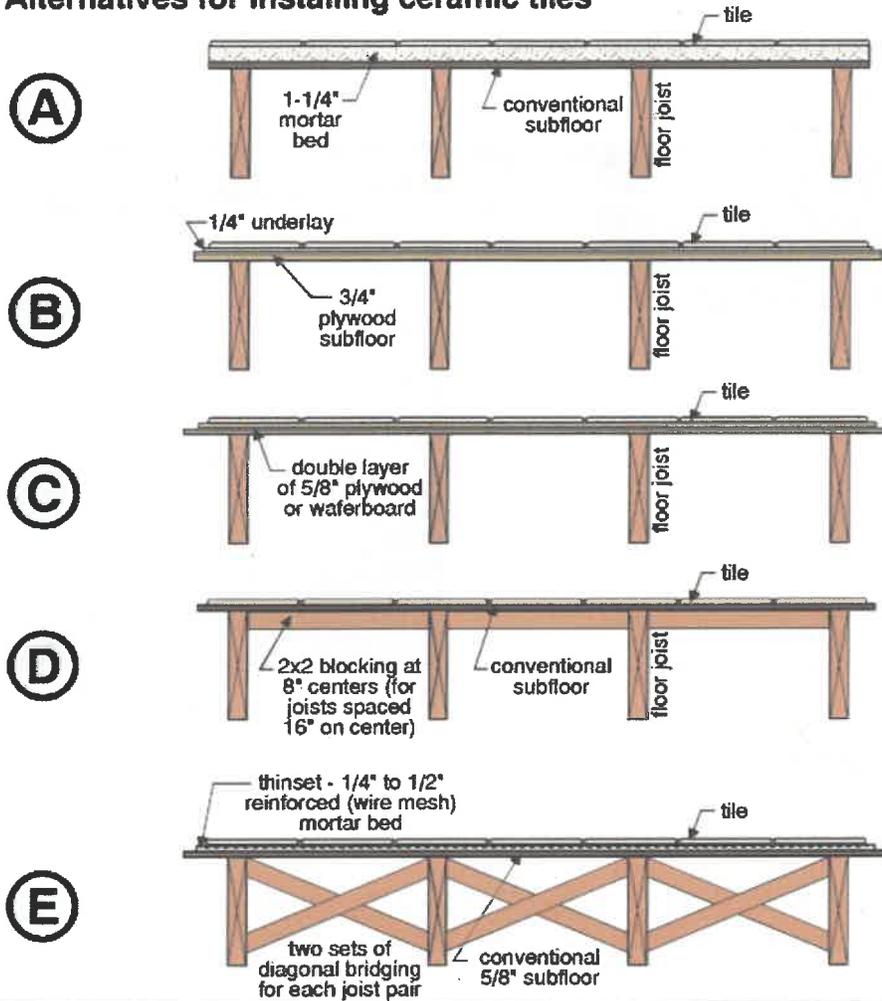
**78. Condition:** • Tiles cracked or broken

**Implication(s):** Further material deterioration / Physical injury

**Location:** Bathroom

**Task:** Replace

Alternatives for installing ceramic tiles



182. Tiles cracked or broken

REFERENCE

**FLOORS \ Resilient flooring**

**79. Condition:** • Damage

**Implication(s):** Material deterioration | Trip or fall hazard

**Location:** Laundry room

**Task:** Replace



183. Damage



184. Damage

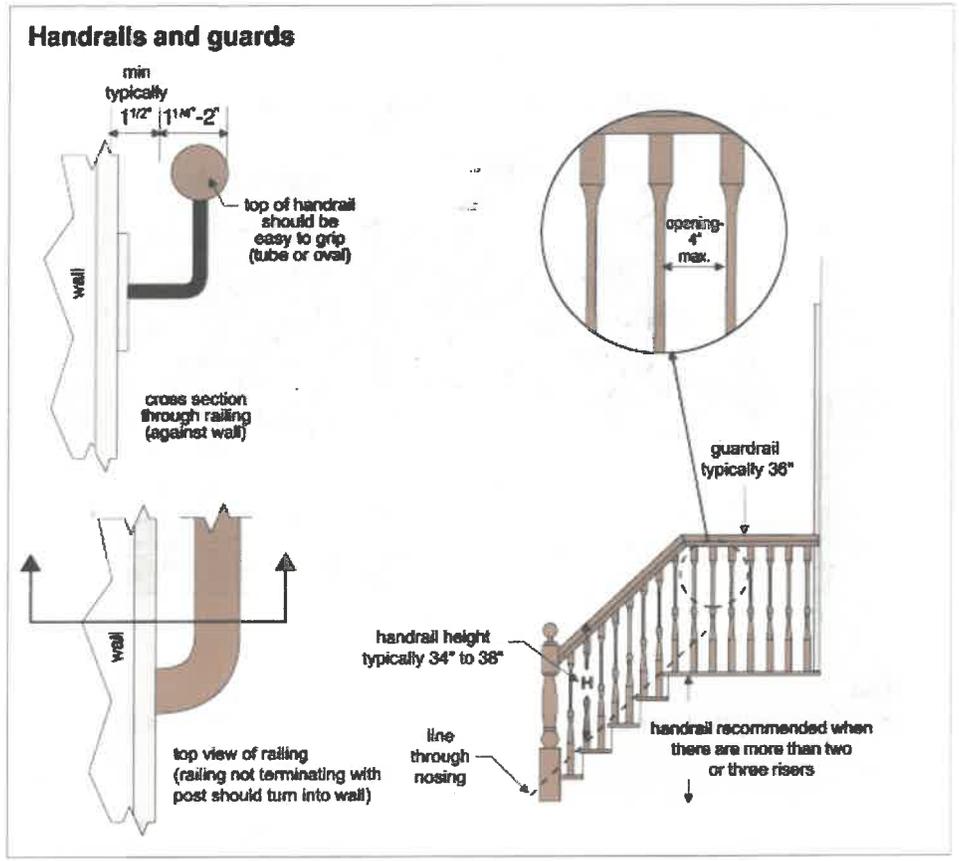
**STAIRS \ Handrails and guards**

**80. Condition:** • Missing

**Implication(s):** Fall hazard

**Location:** Staircase

**Task:** Replace / Install



185. Missing

**APPLIANCES \ Range**

81. Condition: • Burner inoperative

Implication(s): System inoperative

**Location:** Kitchen

**Task:** Repair or replace



186. *Burner inoperative*

## **APPLIANCES \ Dishwasher**

**82. Condition:** • Floor was not installed under the dishwasher. This may make it difficult to remove when needed.

**Location:** Kitchen

**Task:** Improve



187.

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS





Professional Real Estate Consultants  
2088 Van Oaks Dr. Twinsburg, Ohio 44087 (234) 212-9200

Invoice Date: 06/19/2023

Payor
Denise Hagen 1170 Greenbriar Dr Rock Creek, OH 44084

# PAID

Credit Card \$650.00 (#4212) on 06/16/2023

Terms
Invoice must be paid prior to inspection

Due
due on receipt

DESCRIPTION	AMOUNT
Inspection Fee	\$600.00
Outbuilding	\$50.00
<b>Amount Paid:</b>	<b>\$650.00</b>
<b>Total Due:</b>	<b>\$0.00</b>

Thank you for your business, if you have any questions please call us at (234) 212-9200

ASHTABULA COUNTY  
25 W Jefferson Street  
Jefferson OH 44047-1092  
(440) 576-1484 Fax: (440) 576-3446

BOARD OF REVISION HEARING NOTICE TO  
ASHTABULA COUNTY PROPERTY OWNER OR HIS/HER  
AGENT

B.O.R. CASE NUMBER: 2023-0037

April 4, 2024

DENISE & THOMAS HAGEN  
1170 GREENBRIAR DR  
ROCK CREEK OH 44084

The Board, in accordance with Ohio Revised Code 5715.19, has scheduled a hearing on:

**May 1, 2024 at 11:30 AM**

at the Ashtabula County Courthouse, 2nd floor, Room 205, in connection with B.O.R. case number: 2023-0037 filed for tax year 2023 by DENISE & THOMAS HAGEN and described as follows:

Parcel ID(s):

1) 07-021-10-009-21 located at 1170 GREENBRIER DR, the market value is \$356,600. The market value sought is \$200,000.

You or a representative must appear at this hearing or the case will be dismissed.

If you have any questions, please call (440) 576-1484.

Ashtabula County Board of Revision

# HEARING MINUTES

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Case Type VL

**The Hearing of Board of Revision Case 2023-0037, DENISE & THOMAS HAGEN is being recorded and the date is 5/1/2024.**

## Board Members

**Auditor, David Thomas    Treasurer, Angie Maki Cliff    Commissioner, Kathryn Whittington**

Others present:

Alex Iarocci, Treasurer Alternate

Denise & Thomas Hagen, owners

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**Complainant Seeks: \$200000**

**Subject Parcel: 070211000921**

**Auditor Value: \$356600**

Hearing No # 8

# HEARING MINUTES

BOR Case: 2023-0037

Owner Name: DENISE & THOMAS HAGEN

## Board Action

Motion to:  Agree  Set Value \$253,600

CAUV Reinstatement-  All Acres  No Acres  Set Acres \_\_\_\_\_

No Change  Withdrawal  Table  No Show

Other \_\_\_\_\_

### Based Upon:

evidence submitted and testimony provided adjust condition & CDU to fair, grade to C, \_\_\_\_\_

and set functional to 75. \_\_\_\_\_

Was Made by: David

2<sup>nd</sup> by: Kathryn

Roll: Thomas-yes/Iarocci-yes/Whittington-yes

Motion therefore:  Passed  Failed

Decision Date: 5/1/24



David Thomas, Auditor  
Secretary of the Board of Revision

Hearing No # 8

ASHTABULA COUNTY  
 Board of Revision  
 25 W Jefferson Street  
 Jefferson OH 44047-1092  
 (440) 576-1484 Fax: (440) 576-3446

**Notice of Decision for BOR Case: 2023-0037**

DENISE & THOMAS HAGEN  
 1170 GREENBRIAR DR  
 ROCK CREEK OH 44084

<p>Based on the decision of the Board of Revision, the County Auditor is hereby authorized to adjust the Tax List accordingly. <b>Result Below.</b></p>	<p>An appeal from this decision may be filed with the County Board of Revision and with either the Board of Tax Appeals, per Ohio R.C. 5717.01 or the Court of Common Pleas, per Ohio R.C. 5717.05. Appeals must be filed within thirty (30) days of the postmark of this Notice of Decision.</p>
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PARCEL	CLASS	TAXING DISTRICT		TAX YEAR
07-021-10-009-21	510-1FAMILY PLTD	07-AUSTINBURG TWP-GENEVA CSD		2023
	<b>LAND</b>	<b>IMPR</b>	<b>TOTAL</b>	
<b>Original Value:</b>	\$64,900	\$291,700	\$356,600	
<b>Adjustment:</b>	\$0	-\$103,000	-\$103,000	
<b>New Value:</b>	\$64,900	\$188,700	\$253,600	
<b>RESULT: VLD - VALUE DECREASE. SET VALUE AT \$253,600 ADJUSTING CONDITION</b>				

  
 Board of Revision